GENERAL HOUSING DEVELOPMENT

12-16 Stuart Road Warrawong

DEVELOPMENT DATA

JOB REFERENCE	BGYVX
LOCALITY / SUBURB	WARRAWONG
STREET ADDRESS	12-16 Stuart Road
LOT NUMBER & DEPOSITED PLAN	Lots 10, 11 & 12 in DP 35004
SITE AREA (sqm)	1985 m2 – sourced from Survey
NUMBER OF EXISTING LOTS	3
PROPOSED GFA (sqm)	1225sqm
NUMBER OF DWELLINGS	16

DWELLINGS	**UNIT NO.**	**TYPE**	**NO. OF BEDROOMS**	**Internal Area**	**POS required**	**POS proposed**
				sqm	sqm	sqm
	1	Ground	2	75.5	10	10.1
	2	Ground	2	83.4	10	10.5
	3	Ground	1	56.2	8	9.7
	4	Ground	2	70.8	10	10.7
	5	Ground	2	77.8	10	21.9
	6	Ground	1	54.5	8	10.3
	7	Ground	1	56.0	8	10.2
	8	Ground	1	50.7	8	10.4
	9	Level 1	2	75.5	10	11.1
	10	Level 1	2	86.4	10	10.1
	11	Level 1	1	54.4	8	10.4
	12	Level 1	2	70.7	10	10.9
	13	Level 1	2	77.4	10	10.1
	14	Level 1	1	54.5	8	10.3
	15	Level 1	1	56.0	8	10.3
	16	Level 1	1	50.0	8	9.7
	TOTAL			1109.8		

	CONTROL	**REQUIREMENT**	**PROPOSED**
BUILDING HEIGHT	Housing SEPP s.42 (1)(b)	11m	9.9m
	WLEP 2009 Cl. 4.3	9m	
PARKING General	Housing SEPP s.42 (1)(e)	1B - 0.4 carpace 2B - 0.5 carspace 1 space per 3+ bedrooms	8
FSR	Housing SEPP s.42 (1)(c)	0.65:1	0.61:1
	WLEP 2009 Cl. 4.4	0.5:1	
FRONT SETBACK	Housing SEPP	generally inline with existing	6m
	WLEP 2009 Cl. 4.2.2, 6.4.2	6m	
REAR SETBACKS	WLEP 2009 Cl. 4.2.2, 6.4.2	6m - habitable room/ balcony	6m
SIDE SETBACKS		3.5m - non-habitable room/ blank wall	3.5m
DEEP SOIL ZONE	Housing SEPP part 18(d)	15% of site area.(297.75m²) if practicable, 65% at rear (193.54m²) Min.3m.	319.5m² 16%
LANDSCAPE	Housing SEPP part 19 (2)	Lesser of 35 sqm PER DWELLING or 30% or site area(595.5m²)	604.4m² 30.4%
SOLAR COMPLIANCE	Housing SEPP	70% of dwellings have 3 hours sunlight between 9am and 3pm in mid-Winter i. Living Rooms ii. Private open space	70% complied

LAHC* - Development data for LAHC new housing supply. For details refer to current version of LAHC Design Requirements

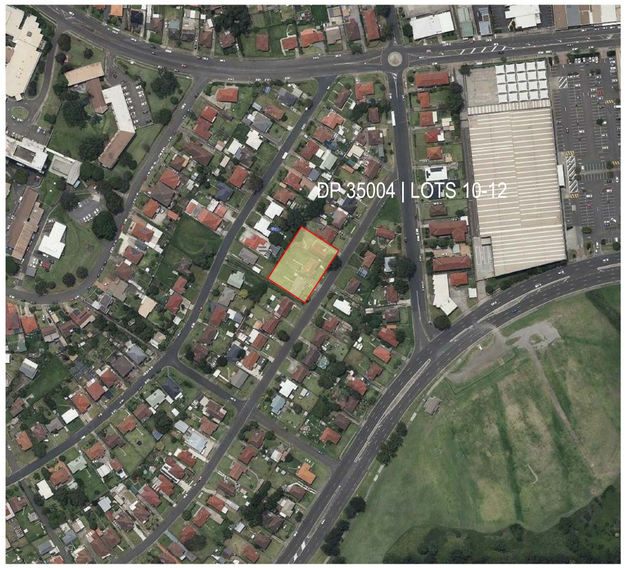
EC* - Entry Corridor

AREA* - Dwelling floor area includes internal walls but excludes external walls

POS* - Private Open Space - In compliance with SLUDG

Type* - E.g. Universal / Non-Universal

Solar Orientation* - % with min. 3 hours of direct sunlight into living areas and private open space



BASIX Commitments Summary

WATER

Rainwater Tank	10000L central tank
Rainwater-Re-use	Rainwater used for garden irrigation of 610sqm on common landscaped area
Star Rating	4 star toilet suite, 6 star taps throughout, 4 star showerheads with flowrate > 4.5 but <=6L/min
Planting	Indigenous or low water use species of vegetation min 100m²

ENERGY

Lighting	Provide dedicated energy efficient lighting (fluoros, compact fluoros or LEDs) throughout
Ceiling Fans	Ceiling fans required in each living room and bedroom
Appliances	Electric cooktop & electric oven, well ventilated fridge space
Mechanical Ventilation	Bathroom / Kitchen / Laundry - Individual fan, ducted to facade or roof. Manual switch on / off interlocked to light
Clothes Lines	Private outdoor or unsheltered cloths drying line
Lift	Gearless traction with V V V F motor
Hot Water System	Mechanical Heat Pump for Ground Floor Units, Electric Instantaneous for First Floor Units
Alternative Energy Source	Photovoltaic system: Rated electrical output (min): 8.0 peak kW

NCC 2022 NatHERS Thermal Performance Specification - Warrawong

External Walls

Wall Type	*Insulation*	*Colour*	*Comments*
Cavity brick	R4.0 (Firemax A10 Plus)	Light - SA < 0.475 Med - SA 0.475 - 0.70 Dark - SA > 0.70	Throughout - As per elevations

SA - Solar Absorptance

Internal Walls

Wall Type	*Insulation*	*Comments*
Single skin brick	None	Ground floor internal walls
Plasterboard stud (Steel studs)	None	L1 internal walls
Cavity brick	None	Party walls between units
Cavity brick	None	Shared walls with lobby/stairs/lift

Floors

Floor Type	*Insulation*	*Comments*
Suspended concrete slab	Ametallin Silverfloor	Ground floor, throughout
Concrete	None	All units with adjoining unit below

Ceilings

Ceiling Type	*Insulation*	*Comments*
Plasterboard	None	Unit above
Plasterboard	R2.5	Roof/air above

Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.

Roof

Roof Type	*Insulation*	*Colour*	*Comments*
Metal (Steel studs)	R1.3 foil-faced blanket	Med - SA 0.475 - 0.70	Throughout (Unventilated roof space)

SA - Solar Absorptance

Glazing

Opening type	*U-Value*	*SHGC*	*Glazing & Frame Type*
Sliding + Fixed (Throughout)	4.3	0.53	e.g. Single glazed high performing Low-E clear Aluminium frame
Awning (Throughout)	4.8	0.51	e.g. Single glazed high performing Low-E clear Aluminium frame

U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.

Skylights

Skylight Type	*Frame Type*	*Comments*
na	na	na

Ceiling fan

Size	*Location*	*Comments*
900mm in diameter	Living and bedrooms	Throughout

Certificate No. 0011746560

HOUSE Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 12-16 Stuart Street,Warrawong NSW,2502

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DRAWING LIST

A000	COVER PAGE & DRAWING LIST	H	16/05/25
A001	CONTEXT BLOCK ANALYSIS	H	16/05/25
A100	SITE ANALYSIS	H	16/05/25
A101	DEMOLITION PLAN	H	16/05/25
A102	CUT AND FILL PLAN	H	16/05/25
A103	SEDIMENT EROSION & CONTROL PLAN	H	16/05/25
A104	AREA CALCULATIONS	H	16/05/25
A105	NATURAL VENTILATION PLANS	H	16/05/25
A200	SITE PLAN	H	16/05/25
A201	GROUND FLOOR PLAN	H	16/05/25
A202	FIRST FLOOR PLAN	H	16/05/25
A203	ROOF PLAN	H	16/05/25
A300	ELEVATIONS EAST & WEST	H	16/05/25
A301	ELEVATIONS NORTH & SOUTH	H	16/05/25
A302	MATERIAL & FINISH SCHEDULE	H	16/05/25
A303	SECTIONS - SHEET 1	H	16/05/25
A304	SECTIONS - SHEET 2	H	16/05/25
A401	VIEW FROM SUN STUDY	H	16/05/25
A402	SHADOW DIAGRAMS	H	16/05/25
A500	AERIAL PERSPECTIVES	H	16/05/25

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom reg. no. 7645
Robert McNamara reg. no. 7271

STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
COVER PAGE & DRAWING LIST

Date: **16/05/25**
Scale
Drawn: **Author**
Project No. **BGYVX**
Checked **Checker**
Revision **H**
Authorised **Approver**
Drawing No. **A000**

3 PORT KEMBLA NORTH STATION 1.9km
4mins driving

4 COMMERCIAL STORES
6mins walking

5 PROJECT SITE

6 NSW AMBULANCE

7 KULLY BAY SPORTS
4min walking

LEGEND:

1. HILLVIEW CHILD CARE CENTRE
2. LEE PARK
3. PORT KEMBLA NORTH STATION
4. COMMERCIAL STORES
5. PROJECT SITE
6. NSW AMBULANCE
7. POST OFFICE
8. KULLY BAY SPORTS

N

7/30 Kembalawarra, Warrawong NSW 2502

99 Parkes, Warrawong NSW 2502

15 Holman Street, Warrawong NSW 2502

SITE CONTEXT ANALYSIS

ANALYSIS - KEY MATTERS

Predominant Block and Lot Patterns
Lot patterns are regular, with consistent dimensions and spacing.

Block and lot pattern change over time
The block has preserved its original lot configurations, characterized by predominantly single-storey buildings and consistent setback distances.

Typical Lot Size, Shape, Orientation
- Lot sizes are small to medium.
- Blocks are rectangular in shape.
- Lots are predominatly oriented parallel to the street.
- South East to North West.

Which Lots better for Intensification and which are not
As the lots are symmetrical, boundaries can easily be combined into larger rectangle to be amalgamated into unit / town house development.

Is amalgamation necessary to support future development.
Amalgamation is required for densification for low rise unit and townhouse developments.

Are better Sites Available
The proposed site is the most appropriate site for this development. It is on a relatively flat streetscape with northerly aspects. The site is close to surrounding parks, shops and various local services.

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Rev	Date	AMENDEMENTS	Ckd
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

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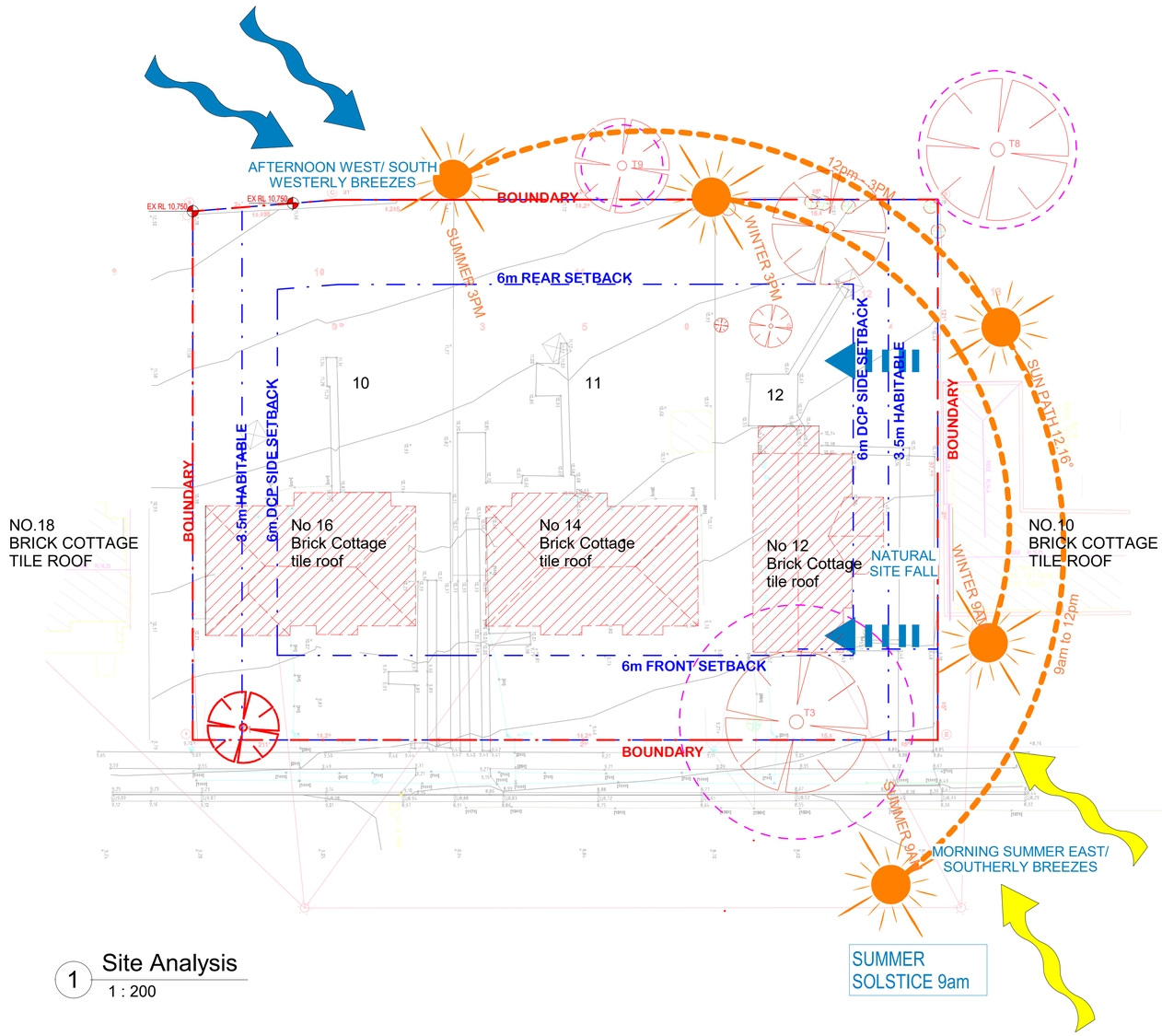
Sheet Title
CONTEXT BLOCK ANALYSIS

Date: **16/05/25**
Scale
Drawn: **Author**
Project No. **BGYVX**
Checked **Checker**
Revision **H**
Authorised **Approver**
Drawing No. **A001**

STAGE C



1 Site Analysis
1 : 200


Street View 12-16 Stuart Rd


Street View 12-16 Stuart Rd


Street View 12-16 Stuart Rd


Street View 12-16 Stuart Rd


Street View 5-9 Stuart Rd


Street View 5-9 Stuart Rd

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

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p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
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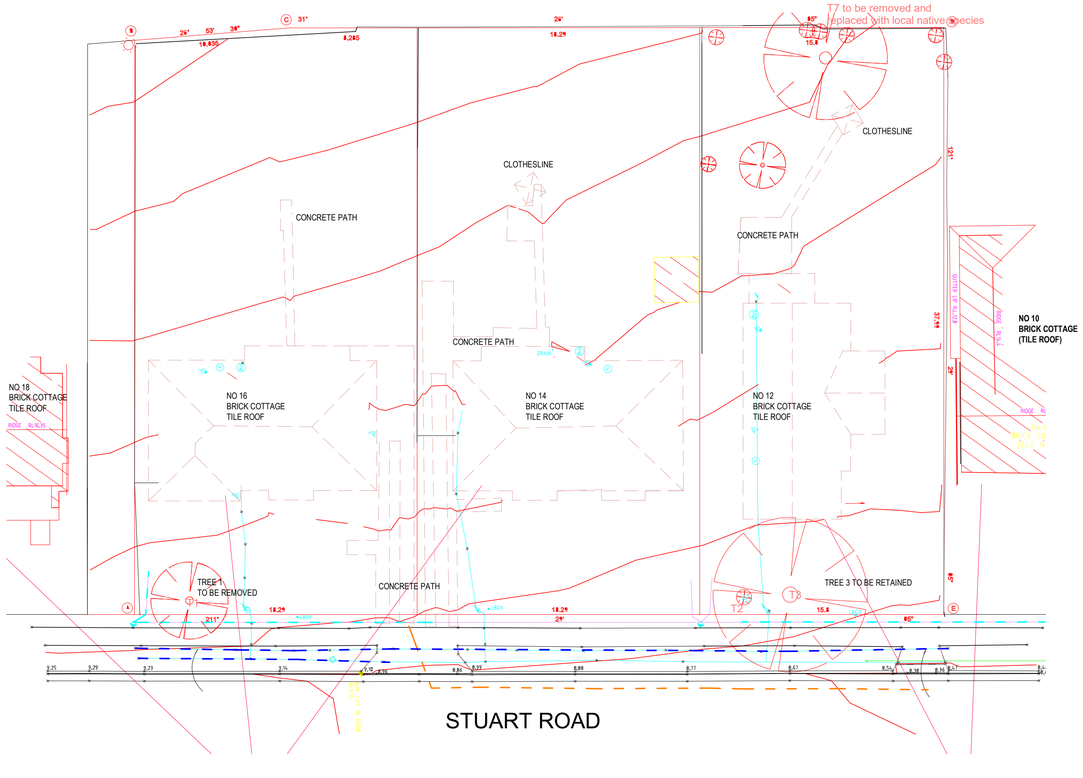
STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
SITE ANALYSIS

Date: **16/05/25**
Scale
Drawn:
Project No.
Author **BGYVX**
Checked
Revision
Checker **H**
Authorised
Drawing No.
Approver **A100**



1 DEMOLITION PLAN

1 : 200

TREE T1 _ TO BE REMOVED

TREE T2, T3 _ TO BE RETAINED

DEMOLITION NOTES

DEMOLITION
DEMOLITION WORKS TO BE CONDUCTED IN ACCORDANCE WITH AS2601-2011: THE DEMOLITION OF STRUCTURES AND WORKERCOVER REQUIREMENTS

GENERAL
REMOVE EXISTING TREES, SHRUBS AND THE LIKE WHERE INDICATED ON THE DRAWINGS TO BE REMOVED AND AS NECESSARY TO CONSTRUCT THE WORKS, INCLUDING THE GRUBBING OUT OF THE TREE STUMPS

REMOVAL OF EXISTING PAVING, ACCESS PATHWAYS, STAIRS, CONCRETE SLABS, ASPHALTIC SURFACES, FOOTINGS, CONCRETE KERB SURROUNDS, FENCING, RETAINING WALLS, GARDEN BEDS, CHAIN WIRE BARRIERS, AND ASSOCIATED EQUIPMENT

REMOVE ALL EXISTING BOUNDARY FENCING OR WALLING TO PROPERTY ALIGNMENTS.

ALL REDUNDANT INGROUND SERVICES AND ALL EXISTING FOOTINGS FROM REMOVED STRUCTURES TO BE REMOVED.

THE CONTRACTOR SHALL ARRANGE FOR A QUALIFIED HYGIENIST TO INSPECT, REPORT AND CERTIFY CLEARANCE OF ALL MATERIAL REMOVED FROM SITE PRIOR TO DEMOLITION AND TO PROVIDE A CLEARANCE CERTIFICATE AFTER DEMOLITION IS COMPLETED

OPERATING HOURS
TO MINIMISE UNDUE LOSS OF AMENITY, HOURS OF WORK FOR DEMOLITION/ EXCAVATION/ CONSTRUCTION ARE TO BE RESTRICTED ABSOLUTELY TO THE HOURS INDICATED IN THE CONDITIONS OF CONSENT.

ACCESS POINT
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET, ALL VEHICLES AND PLANT EQUIPMENT WILL USE A SINGLE ENTRY / EXIT POINT.
A SEDIMENT CONTROL DEVICE IS TO BE PLACED AT THE SITE ACCESS POINT TO PREVENT SEDIMENT DEPOSITION ON ADJOINING ROADS.
THE CONTRACTOR IS RESPONSIBLE TO REMOVE ANY MATERIAL DEPOSITED OFFSITE AS A RESULT OF SPILLAGE OR VEHICLE MOVEMENT. RESTORE AREA TO PREVIOUS STANDARD OR EQUAL.
FORM VEHICLE CROSSING FROM 150X50 HARDWOOD PLANKS, CHAMFERED AT ENDS. LAY OVER 150mm ROAD BASE. TIE WITH HOOP IRON STRAPS AT 600C/C.

DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS
THE MANAGEMENT AND DISPOSAL OF CONTAMINANTS AND HAZARDOUS MATERIALS, INCLUDING ASBESTOS, CHEMICALS, OILS SHALL BE IN ACCORDANCE WITH THE CURRENT RELEVANT LEGISLATION INCLUDING:

WORK HEALTH AND SAFETY ACT 2011
WORK HEALTH AND SAFETY REGULATION 2011
PROTECTION OF ENVIRONMENT OPERATIONS ACT 1997
PROTECTION OF ENVIRONMENT OPERATIONS (WASTE) REGULATION 1997
ENVIRONMENTALLY HAZARDOUS CHEMICALS ACT 1985
AS2601 CLAUSE 1.6.2

ASBESTOS REMOVAL
- THESE PROPERTIES WERE BUILT BEFORE 31.12.1987 AND IS LIKELY TO HAVE ASBESTOS
CONTAINING MATERIAL. IF DEMOLITION INVOLVES THE DEMOLITION OF BUILDINGS OR PART OF A BUILDING THAT MAY CONTAIN ASBESTOS, A HAZMAT REPORT DOCUMENTING THE EXTENT OF ASBESTOS REMOVAL REQUIRED AND CONFIRMING THAT THE REMOVAL WILL BE UNDERTAKEN IN ACCORDANCE WITH WORKCOVER NSW REQUIREMENTS MUST BE PROVIDED.
- ROOFING AND CLADDING MATERIALS MUST BE CHECKED FOR THE PRESENCE OF ASBESTOS BEFORE ANY SUCH MATERIAL IS DISTURBED OR REPLACED. ALL WORK, WHICH INVOLVES THE REMOVAL OF PRODUCTS CONTAINING ASBESTOS OR BRINGS PERSONS INTO CONTACT WITH ASBESTOS, MUST ONLY BE PERFORMED BY PERSONS LICENSED BY AND HOLDING A PERMIT ISSUED BY WORKCOVER AUTHORITY UNDER
WORK HEALTH AND SAFETY REGULATION 2011. A COPY OF LICENCE MUST BE SUBMITTED TO THE SUPERINTENDENT/AUTHORISED PERSON PRIOR TO COMMENCEMENT OF THIS WORK. IF ASBESTOS MATERIALS ARE ENCOUNTERED (I.E. IN THE GROUND) DURING CONSTRUCTION WORKS, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE SUPERINTENDENT / AUTHORISED PERSON AND SEEK FURTHER DIRECTIONS

DEMOLISHED MATERIAL
REMOVAL - TAKE POSSESSION OF DEMOLISHED MATERIALS AND REMOVE THEM FROM THE SITE EXCEPT FOR ITEMS TO BE RECOVERED FOR RE-USE. BURNING OR BURYING DEMOLISHED MATERIALS ARE STRICTLY PROHIBITED ON THE SITE. PREVENT SPILLAGE OF DEMOLISHED MATERIALS IN TRANSIT

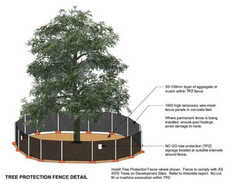
RECYCLE - DISMANTLE BUILDING COMPONENTS FOR OFF-SITE RECYCLING

DISPOSAL
REMOVE CLEARED AND GRUBBED MATERIAL FROM THE SITE AND DISPOSE OF LEGALLY

NOTICE OF COMPLETION GENERAL
GIVE AT LEAST 5 WORKING DAYS' NOTICE OF COMPLETION OF DEMOLITION SO THAT ADJACENT STRUCTURES MAY BE INSPECTION FOLLOWING COMPLETION OF DEMOLITION

TREE PROTECTION
PROTECT EXISTING TREES AS SPECIFIED AND NOTED IN ARBORIST REPORT
- TREE PROTECTION ZONE (TPZ) IN ACCORDANCE WITH AS4970-2009 SECTION 3
- TREE PROTECTIVE MEASURES TO BE CONDUCTED IN ACCORDANCE WITH AS4970 SECTION 4

HARMFUL MATERIALS - KEEP AREA WITHIN DRIPLINE FREE OF SHADES AND PATHS, CONSTRUCTION MATERIAL AND DEBRIS
HAND METHODS - USE HAND METHODS TO LOCATE, EXPOSE AND CLEANLY REMOVE THE ROOTS ON THE LINE OF EXCAVATION
WORK UNDER TREES - DO NOT REMOVE TOPSOIL FROM, OR ADD TOPSOIL TO, AREAS WITHIN DRIPLINE OF TREES



PROTECTION OF TREES ON DEVELOPMENT SITES

PROTECTION OF TREES ON DEVELOPMENT SITES:

- THE TREE PROTECTION PLAN INDICATES THAT TREES T1, AND T7 LOCATED WITHIN THE SITE ARE TO BE REMOVED. TREES T2, T3 ARE TO BE RETAINED AND PROTECTED FOR THE DURATION OF DEVELOPMENT CONSENT.
- TREES THAT HAVE A TPZ-TREE PROTECTION ZONE AND SRZ -STRUCTURAL ROOT ZONE, REFER TO SITE PLAN AND ARBORIST REPORT.
- PROTECTIVE FENCING AROUND TREE T2 AND T3 ARE INSTALLED IN ACCORDANCE WITH AS 4970-2009 REQUIREMENTS, AND THE PROTECTIVE MEASURES FOLLOWS THE RECOMMENDATIONS OF THE ARBORIST REPORT.

THE ALIGNMENT OF THE DEVELOPMENT IS AN ENCROACHMENT TO THIS SPECIMEN. THE SECTION OF THE DEVELOPMENT WITHIN THE TPZ OF THESE SPECIMENS IS TO BE CONSTRUCTED USING TREE SENSITIVE EXCAVATION AND CONSTRUCTION TECHNIQUES SUCH AS PIER AND BEAM CONSTRUCTION WITH A SUSPENDED SLAB TO REDUCE ANY IMPACT ON THEIR STABILITY WITH PIERS TO BE DUG BY HAND WITH NON-MOTORISED MACHINERY TO FURTHER ASSIST IN THEIR PROTECTION.

PRUNING STANDARDS
- ANY PRUNING RECOMMENDED IN THIS REPORT IS TO BE TO THE AUSTRALIAN STANDARD® AS4373 *PRUNING OF AMENITY TREES*, AND CONDUCTED IN ACCORDANCE WITH THE NSW WORK COVER AUTHORITY CODE OF PRACTICE, TREE WORK, 2007.
- ALL PRUNING OR REMOVAL WORKS ARE TO BE IN ACCORDANCE WITH THE APPROPRIATE TREE MANAGEMENT POLICY WHERE APPLICABLE, OR TREE MANAGEMENT ORDER (TMO), OR TREE PRESERVATION ORDER (TPO).
- TREE MAINTENANCE WORK IS SPECIALISED AND IN ORDER TO BE UNDERTAKEN SAFELY TO ENSURE THE WORKS CARRIED OUT ARE NOT DETRIMENTAL TO THE SURVIVAL OF A TREE BEING RETAINED, AND TO ASSIST IN THE SAFE REMOVAL OF ANY TREE, SHOULD BE UNDERTAKEN BY A QUALIFIED ARBORICULTURIST WITH APPROPRIATE COMPETENCIES RECOGNISED WITHIN THE AUSTRALIAN QUALIFICATION FRAMEWORK, WITH A MINIMUM OF 5 YEARS OF CONTINUAL EXPERIENCE WITHIN THE INDUSTRY OF OPERATIONAL AMENITY ARBORICULTURE, AND COVERED BY APPROPRIATE AND CURRENT TYPES OF INSURANCE TO UNDERTAKE SUCH WORKS.

GENERAL – TREE PROTECTION WORKS – PRIOR TO DEMOLITION
- *MILESTONE* – PRIOR TO DEMOLITION WORKS, A SITE ARBORIST SHALL BE APPOINTED TO SUPERVISE ALL TREE PROTECTION PROCEDURES DETAILED IN THIS SPECIFICATION. THE SITE ARBORIST SHALL HAVE A MINIMUM LEVEL 5 AQF QUALIFICATION IN ARBORICULTURE. MILESTONES ARE TO BE ADHERED TO THROUGHOUT THE DURATION OF THIS DEVELOPMENT AND ALL RELEVANT DOCUMENTATION IS TO BE SUBMITTED TO THE LOCAL AUTHORITY.
- THE TREE PROTECTION ZONE FOR EACH TREES IS TO BE INCORPORATED INTO THE CONSTRUCTION WORKS FOR THE SITE AND THE PROTECTION FENCING OR WORKS AS SPECIFIED IN THE REPORT . THE SETBACKS FROM BUILDING WORKS ON THE SIDE CLOSEST TO EACH TREE ARE TO BE CARRIED OUT IN ACCORDENCE TO THE TREE PROTECTION ZONE. THE TREES WILL BE SUSTAINED WITHIN THE CONSTRAINTS OF THE MODIFICATIONS TO THE SITE BY THE PROPOSED DEVELOPMENT WORKS.TREES AS NOTED TO BE RETAINED AND PROTECTED AND INCORPORATED INTO THE LANDSCAPE WHERE APPROPRIATE AND INSTALLED PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- GROUND PROTECTION - IF TEMPORARY ACCESS FOR MACHINERY IS REQUIRED WITHIN THE TPZ GROUND PROTECTION MEASURES WILL BE REQUIRED. THE PURPOSE OF GROUND PROTECTION IS TO PREVENT ROOT DAMAGE AND SOIL COMPACTION WITHIN THE TPZ. MEASURES MAY INCLUDE A PERMEABLE MEMBRANE SUCH AS GEOTEXTILE FABRIC BENEATH A LAYER OF MULCH OR CRUSHED ROCK BELOW RUMBLE BOARDS. THESE MEASURES MAY BE APPLIED TO ROOT ZONES BEYOND THE TPZ.
- WHERE APPLICABLE, ANY EXCAVATION FOR THE ESTABLISHMENT OF A BATTER SLOPE OR BENCHING FOR REASONS OF SAFETY AND TO COMPLY WITH WORK COVER AUTHORITY SAFETY REGULATIONS SHOULD BE RESTRICTED AS FAR AS IS SAFELY POSSIBLE NEAR TO TREES TO BE RETAINED TO PREVENT ROOT DAMAGE. IF THE EXCAVATIONS CANNOT BE UNDERTAKEN NEAR TO VERTICAL THE STABILITY OF THESE TREES AND THEIR LONG-TERM VIABILITY MAY BE COMPROMISED AND THEIR RETENTION IN A SAFE AND HEALTHY CONDITION JEOPARDIZED AND THEY MAY NEED TO BE REVISED AND POSSIBLY REMOVED.

SPECIFIC - TREE PROTECTION WORKS - PRIOR TO DEMOLITION AND TREE REMOVAL
ALL OTHER TREES/SHRUBS, PRIOR TO DEMOLITION AND TREE REMOVAL WORKS THESE TREE/S ARE TO BE PLACED WITHIN A TREE PROTECTION ZONE WITH PROTECTIVE FENCING AND MAINTAINED AND RETAINED UNTIL THE COMPLETION OF ALL BUILDING WORKS. PROTECTIVE FENCING IS TO BE INSTALLED AS SHOWN IN APPENDIX F - TREE PROTECTION PLAN.
- THE PROTECTIVE FENCING WHERE REQUIRED MAY DELINEATE THE **TREE PROTECTION ZONE (TPZ)** AND SHOULD BE SITUATED AS DETERMINED BY THE PROJECT ARBORIST IN ACCORDANCE WITH AS4970 PROTECTION OF TREES ON DEVELOPMENT SITES, "FENCING SHOULD BE ERECTED BEFORE ANY MACHINERY OR MATERIALS ARE BROUGHT ONTO THE SITE AND BEFORE THE COMMENCEMENT OF WORKS INCLUDING DEMOLITION. ONCE ERECTED, PROTECTIVE FENCING MUST NOT BE REMOVED OR ALTERED WITHOUT APPROVAL BY THE PROJECT ARBORIST. THE TPZ MUST BE SECURED TO RESTRICT ACCESS. AS4687 TEMPORARY FENCING AND HOARDINGS SPECIFIES APPLICABLE FENCING REQUIREMENTS. SHADE CLOTH OR SIMILAR SHOULD BE ATTACHED TO REDUCE THE TRANSPORT OF DUST, OTHER PARTICULATE MATTER AND LIQUIDS INTO THE PROTECTED AREA. FENCE POSTS AND SUPPORTS SHOULD HAVE A DIAMETER GREATER THAN 20 MM AND BE LOCATED CLEAR OF ROOTS. EXISTING PERIMETER FENCING AND OTHER STRUCTURES MAY BE SUITABLE AS PART OF THE PROTECTIVE FENCING' OR SIMILAR.
- TREE PROTECTION SIGNAGE IS TO BE ATTACHED TO EACH **TPZ** AND DISPLAYED FROM WITHIN THE DEVELOPMENT SITE IN ACCORDANCE WITH AS4970 2009 PROTECTION OF TREES ON DEVELOPMENT SITES
- THE AREA OF THE TREE PROTECTION ZONE TO BE MULCHED TO A DEPTH OF 100 MM WITH ORGANIC MATERIAL BEING 75% LEAF LITTER AND 25% WOOD, AND THIS BEING COMPOSTED MATERIAL PREFERABLY FROM THE SAME GENUS AND SPECIES OF TREE AS THAT TO WHERE THE MULCH IS TO BE APPLIED, I.E. SPECIES-SPECIFIC MULCH WHERE POSSIBLE. THE DEPTH OF MULCH AND TYPE AS INDICATED, TO BE MAINTAINED FOR THE DURATION OF THE PROJECT. WHERE DEEP EXCAVATION WILL EXPOSE THE SOIL PROFILE TO DRYING OUT THE ROOT PLATE IS TO BE PROTECTED BY PEGGING JUTE MATTING ACROSS THE GROUND SURFACE 2 M BACK FROM THE EDGE OF THE PROFILE AND 2 M DOWN THE FACE OF THE PROFILE AND IS TO BE IN ONE CONTINUOUS SHEET OR LAYERS UP TO 5 MM THICK AND OVERLAPPED 300 MM AND PEGGED. PEGS ARE TO BE A MINIMUM LENGTH OF 200 MM AND SPACED AT 500 MM INCREMENTS IN A GRID PATTERN. ONCE INSTALLED MULCH IS TO BE PLACED ON TOP OF THE JUTE MATTING PREVIOUSLY DESCRIBED.
THERE IS TO BE NO STORAGE OF MATERIALS, RUBBISH, SOIL, EQUIPMENT, STRUCTURES, OR GOODS OF ANY TYPE TO BE KEPT OR PLACED WITHIN 5 METRES FROM THE TRUNK OR WITHIN THE DRIPLINE OF ANY TREE FOR THE DURATION OF THE DEVELOPMENT. THIS WILL ENSURE PROTECTION OF THE TREE/S TO BE RETAINED ON OR ADJACENT TO SITE.
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS PRIOR TO DEMOLITION TO INSPECT TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION

DEMOLITION AND TREE REMOVAL/S
REMOVAL OF A TREE WITHIN 6 M OF A TREE TO BE RETAINED SHOULD BE UNDERTAKEN ONLY BY CUTTING DOWN SUCH A TREE WITHOUT DAMAGING THE TREES TO BE RETAINED, AND BY GRINDING OUT ITS STUMP. WHERE POSSIBLE THE STRUCTURAL ROOTS OF 20 MM DIAMETER OR GREATER OF THE TREE TO BE CUT DOWN SHOULD NOT BE REMOVED, TO MINIMISE SOIL DISTURBANCE AND TO REDUCE THE IMPACT ON THE ROOTS OF ANY TREE TO BE RETAINED NEARBY. WHERE STRUCTURAL ROOTS ARE TO BE REMOVED THIS SHOULD BE UNDERTAKEN MANUALLY BY THE USE OF NON-MOTORISED HAND TOOLS AFTER THE STUMP HAS BEEN GROUND OUT WHEN SUCH ROOTS ARE OFTEN EASIER TO LOCATE FROM THE SITE OF THE STUMP FROM WHICH THEY HAVE BEEN SEVERED. GROUND PROTECTION IN ACCORDANCE WITH AS4970 MAY REQUIRE STEEL PLATES TO PROTECT THE GROUND SURFACE FROM COMPACTION TO PROTECT ROOTS BETWEEN THE STAGES OF DEMOLITION AND CONSTRUCTION.

SPECIFIC - TREE PROTECTION WORKS – DURING DEMOLITION
DEMOLITION OF EXISTING BUILDINGS SHOULD BE UNDERTAKEN WITH ACCESS RESTRICTED TO THE DRIVEWAY AND THE BUILDING PLATFORM FOR EACH OF THE EXISTING BUILDINGS, OR TO AREAS OF THE LAND WHERE NO TREES ARE GROWING WITHIN 6M OF ANY TREE TO BE RETAINED. WHERE ACCESS OR SPACE FOR A SAFE WORKING ENVIRONMENT IS RESTRICTED, OR WHERE THE AREA OF THE 6M SET BACK MUST BE COMPROMISED, A 100 MM LAYER OF WOOD MULCH MUST BE LAID OVER THE AREA OF ENCROACHMENT. WHERE VEHICULAR ACCESS IS REQUIRED ACROSS THE MULCH LAYER FURTHER ROOT PROTECTION SHOULD BE PROVIDED BY LAYING A TEMPORARY PATHWAY OVER THE MULCH. THE TEMPORARY PATHWAY SHOULD BE CONSTRUCTED OF A GRATED STEEL MATERIAL CAPABLE OF SUPPORTING THE VEHICLES USED DURING DEMOLITION E.G., LIKE RAMPS USED TO LOAD VEHICLES ONTO THE BACKS OF TRUCKS. TRUNKS OF TREES MAY REQUIRE PROTECTION FROM VEHICULAR DAMAGE.
DEMOLITION OF LANDSCAPE STRUCTURES: THE DEMOLITION OF WALLS, DRIVEWAYS RETAINING WALLS, PATHS, AND POOLS ETC. WITHIN 6 M OF A TREE TO BE RETAINED SHOULD BE UNDERTAKEN MANUALLY USING HAND TOOLS. WHERE A DRIVEWAY IS TO BE DEMOLISHED BEING OF CONCRETE STRIP OR SLAB TYPE CONSTRUCTION, IT SHOULD BE UNDERTAKEN BY WORKING FROM THE END OF THE DRIVEWAY CLOSEST TO THE BUILDING BACK TOWARDS THE STREET BY UTILISING THE DRIVEWAY AS A STABLE PLATFORM TO PREVENT SOIL COMPACTION. WHERE A CONCRETE SLAB DRIVEWAY PASSES LESS THAN 1 M FROM THE BASE OF A TREE AND THE AREA BENEATH THE DRIVEWAY IS TO BE UNDISTURBED AND INCORPORATED INTO THE LANDSCAPE WORKS FOR THE SITE, THE VOLUME OF SPACE PREVIOUSLY OCCUPIED BY THE DRIVEWAY MUST BE REPLACED WITH LOCAL TOP SOIL FROM THE SITE OR OTHERWISE A LOAMY SAND, TO REPLACE THE MASS OF THE CONCRETE ON THE ROOT PLATE WHICH MAY BE CRITICAL TO THE BALLAST AND CENTRE OF MASS FOR THE STABILITY OF THE TREE. IF THE TREE BECOMES UNSTABLE IMMEDIATELY CONTACT THE CONSULTANT ARBORICULTURIST.

PROTECTION OF TREES ON DEVELOPMENT SITES

SPECIFIC - TREE PROTECTION WORKS – POST DEMOLITION AND PRIOR TO CONSTRUCTION
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS PRIOR TO CONSTRUCTION IN RELATION TO TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION.
LOCATION OF UNDERGROUND UTILITIES WITHIN A TREE PROTECTION ZONE OF A RETAINED SPECIMEN.
ANY UTILITY SERVICES TO BE SITUATED UNDERGROUND WITHIN THE TPZ ARE TO BE UNDERTAKEN UTILISING EXCAVATION TECHNIQUES THAT PREVENT OR MINIMISE DAMAGE TO STRUCTURAL ROOTS (ROOTS GREATER THAN >20 MM DIAMETER). TO PREVENT SOIL COMPACTION AND ROOT DAMAGE THESE WORKS SHOULD BE CONDUCTED WITH NON-MOTORISED HAND TOOLS, AIR KNIFE OR DIRECTIONAL DRILLING.
REGARDING OF SITE NEAR RETAINED TREES; GRADING &/OR RE-GRADING OF SITES/SLOPES WITHIN TREE PROTECTION ZONES OR NEAR RETAINED SPECIMENS IS TO BE UNDERTAKEN **ONLY** IF AT ALL, AFTER CONSULTATION WITH THE PROJECT ARBORIST. THIS IS TO PROTECT ALL STRUCTURAL ROOTS SYSTEMS FROM DAMAGE OR COMPACTION FROM MACHINERY.
PLACEMENT OF RELOCATABLE BUILDINGS; CONSIDERATION SHOULD BE GIVEN TO TREE SENSITIVITY SUCH AS THE BUILDINGS BEING PLACED ON PIER AND BEAM OR SKIDS CONSTRUCTION AS THEY ARE TO BE POSITIONED ON THEIR DRIPLINES WITHIN THE TREE PROTECTION ZONE (TPZ). THE AREA OF THE TREE PROTECTION ZONE UNDER THE BUILDINGS IS TO BE MULCHED TO A DEPTH OF 200 MM (*IF INSTALLED ON SKIDS*) WITH ORGANIC MATERIAL TO FURTHER REDUCE COMPACTION. THE MULCH IS TO BE COMPOSTED MATERIAL, I.E. SPECIES-SPECIFIC MULCH. ALTERNATIVELY, IF INSTALLED ON A PIER & BEAM CONSTRUCTION, PIERS ARE TO BE UNDERTAKEN MANUALLY BY USING NON-MOTORISED HAND TOOLS TO DETERMINE THE LOCATION OF FIRST ORDER AND LOWER ORDER STRUCTURAL ROOTS WITH A DIAMETER OF 20 MM (*STRUCTURAL WOODY ROOTS*) OR GREATER, WITHOUT DAMAGING THEM.

SPECIFIC - TREE PROTECTION WORKS – DURING CONSTRUCTION
MILESTONE - PROJECT/SITE ARBORIST IS TO INSPECT/ASSESS ALL RETAINED SPECIMENS DURING CONSTRUCTION IN RELATION TO TREE PROTECTION MEASURES TO MONITOR THAT THEY HAVE BEEN CARRIED OUT AS PER THE APPROVED D/A CONDITIONS FOR THE SITE. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY AFTER EACH INSPECTION.
WHERE ANY STRUCTURAL ROOTS (ROOTS WITH A DIAMETER OF GREATER THAN >20 MM) ENCOUNTERED BY EXCAVATION ARE TO BE PRUNED AND IT IS TO BE UNDERTAKEN WITH CLEAN SHARP PRUNING TOOLS, WITH A FINAL CUT TO UNDAMAGED WOOD TO PREVENT INFESTATION BY PATHOGENS AND ASSIST CONTINUED ROOT GROWTH AND UNDERTAKEN IN CONSULTATION WITH THE CONSULTING ARBORICULTURIST. TREE PROTECTION ZONE FENCES ARE TO BE MAINTAINED DURING THESE WORKS. GROUND PROTECTION IN ACCORDANCE WITH AS4970 MAY REQUIRE STEEL PLATES TO PROTECT THE GROUND SURFACE FROM COMPACTION TO PROTECT ROOTS BETWEEN THE STAGES OF DEMOLITION AND CONSTRUCTION OF THE NEW PAVEMENT.
ALL TREE PROTECTION ZONES OF RETAINED TREES ARE TO BE MONITORED FOR THE DURATION OF THE CONSTRUCTION PHASE OF THE DEVELOPMENT. THE THREE MAIN AREAS REQUIRING MONITORING ARE; *MULCHING* - MULCH MUST BE MAINTAINED TO A DEPTH OF 50–100 MM USING MATERIAL THAT COMPLIES WITH AS 4454. WHERE THE EXISTING LANDSCAPE WITHIN THE TPZ IS TO REMAIN UNALTERED (E.G. GARDEN BEDS OR TURF) MULCH MAY NOT BE REQUIRED, WATERING - SOIL MOISTURE LEVELS SHOULD BE REGULARLY MONITORED BY THE PROJECT ARBORIST. TEMPORARY IRRIGATION OR WATERING MAY BE REQUIRED WITHIN THE TPZ. AN ABOVE-GROUND IRRIGATION SYSTEM COULD BE INSTALLED AND MAINTAINED BY A COMPETENT INDIVIDUAL AND WEEDING - WEEDS SHOULD BE REMOVED BY HAND WITHOUT DISTURBING SOIL OR SHOULD BE CONTROLLED WITH WEEDICIDE.
TREES TO BE REMOVED ARE TO BE REPLACED WITH ADVANCED SPECIMENS BEING MINDFUL OF THE SPACE LIMITATIONS OF THE NEW USE OF THE SITE. THE ADVANCED TREES SHOULD BE SITUATED IN AREAS ALONG THE BOUNDARIES OF THE SITE. THE PLANTING IN THESE LOCATIONS WILL PROVIDE THE MAXIMUM BENEFIT TO THE SURROUNDING PROPERTIES BY SCREENING VIEWS TO AND FROM THE SITE AND THE PLANTINGS INCLUDED IN THE PROPOSED LANDSCAPE PLAN. THE REPLACEMENT TREES WILL BE SITUATED IN POSITIONS WHERE THEY MAY GROW TO MATURITY UNHINDERED AND WILL NOT CONFLICT WITH BUILT STRUCTURES OR UTILITY SERVICES AND IN GREATER NUMBERS THAN THE TREES REMOVED SHOULD PROVIDE A NET INCREASE IN THE LOCAL AMENITY.

SPECIFIC - TREE PROTECTION WORKS – POST CONSTRUCTION
MILESTONE - AT COMPLETION OF CONSTRUCTION WORK THE SITE/PROJECT ARBORIST SHOULD CARRY OUT AN ASSESSMENT OF ALL TREES RETAINED &/OR AFFECTED BY WORKS. THIS ASSESSMENT IS TO DOCUMENT ANY REQUIRED ON-GOING REMEDIAL CARE NEEDED TO ENSURE VIABLE RETENTION OF TREES AFFECTED. DOCUMENTATION IS TO BE SUBMITTED TO THE CONSENTING AUTHORITY.

NOTE: REFER TO ARBORIST REPORT

Rev	Date	AMENDEMENTS	Ckd
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- SERVICES - STORMWATER
- SERVICES - SEWER
- SERVICES - ELECTRICAL
- SERVICES - TELECOM
- SERVICES - NBN
- SERVICES - GAS
- STORMWATER PITS
- EXISTING HYDRANT
- SEWER MANHOLE
- SEWER INSPECTION POINT
- TELSTRA PIT
- POWER PLE
- EXISTING TREES TO BE REMOVED
- EXISTING TREES TO BE RETAINED

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Accreditation No. DMN/13/1645
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NSW GOVERNMENT

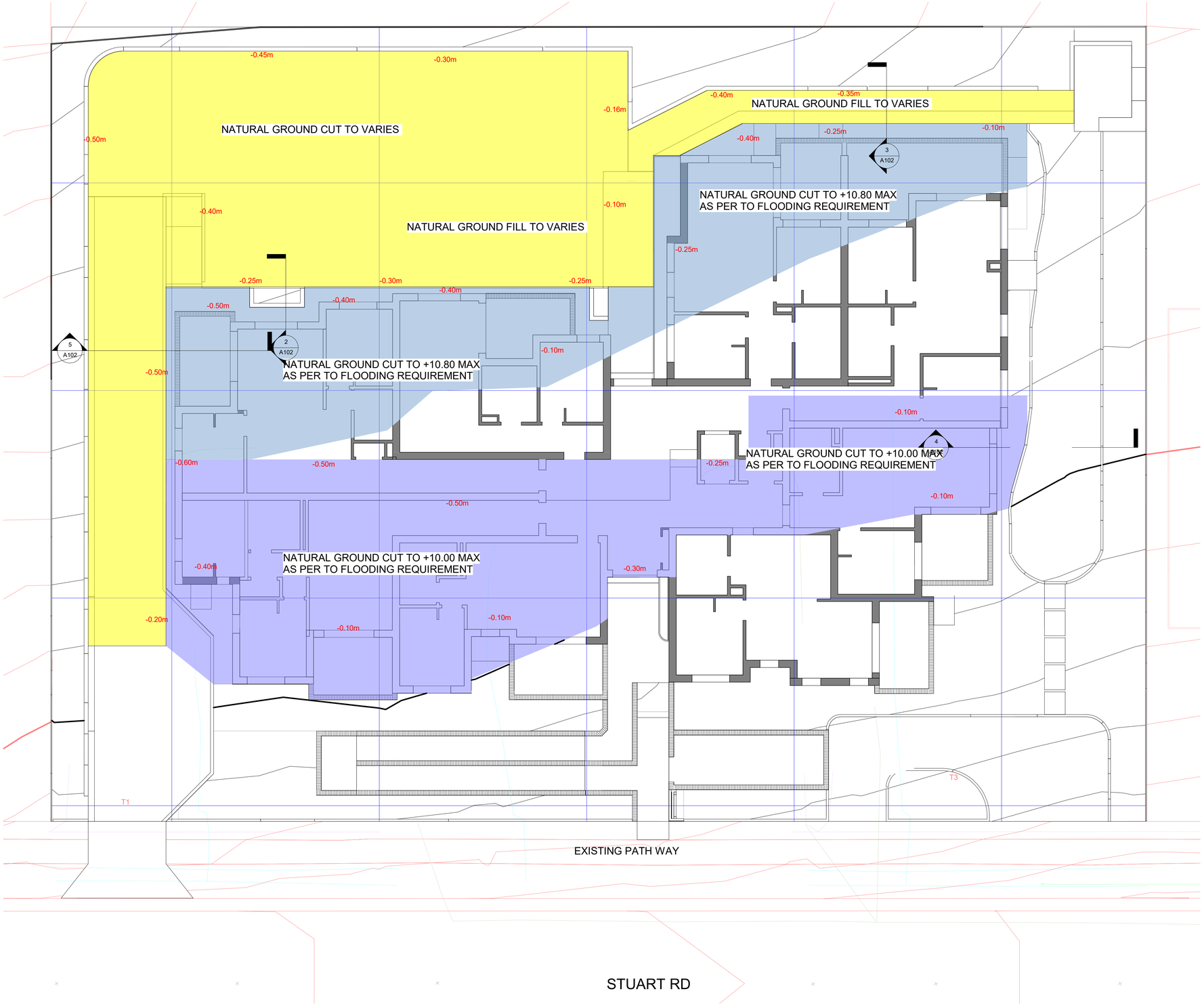
SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom reg. no. 7645
Robert McNamara reg. no. 7271

STAGE C

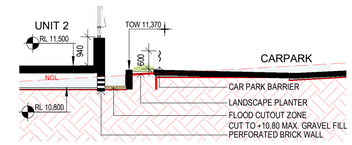
Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
DEMOLITION PLAN

Date: 16/05/25
Drawn: Author
Checked Checker
Authorised Approver
Scale
Project No. BGYVX
Revision H
Drawing No. A101

T9



1 CUT AND FILL PLAN
1 : 100



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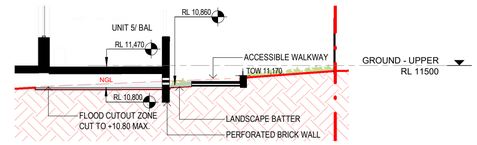

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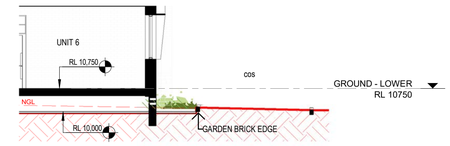

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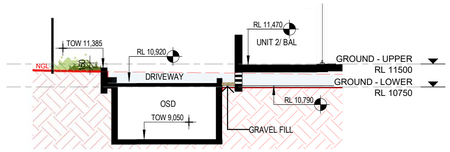
1 : 100



5 Section 4
1 : 100

Rev	Date	AMENDEMENTS	Ckd
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

EXTERNAL AREA
NATURAL GROUND CUT TO VARIES TO SITE CODITIONS

UPPER FLOOR LEVEL
NATURAL GROUND CUT TO RL+10.80 MAX.

LOWER FLOOR LEVEL
NATURAL GROUND CUT TO RL+10.00 MAX.

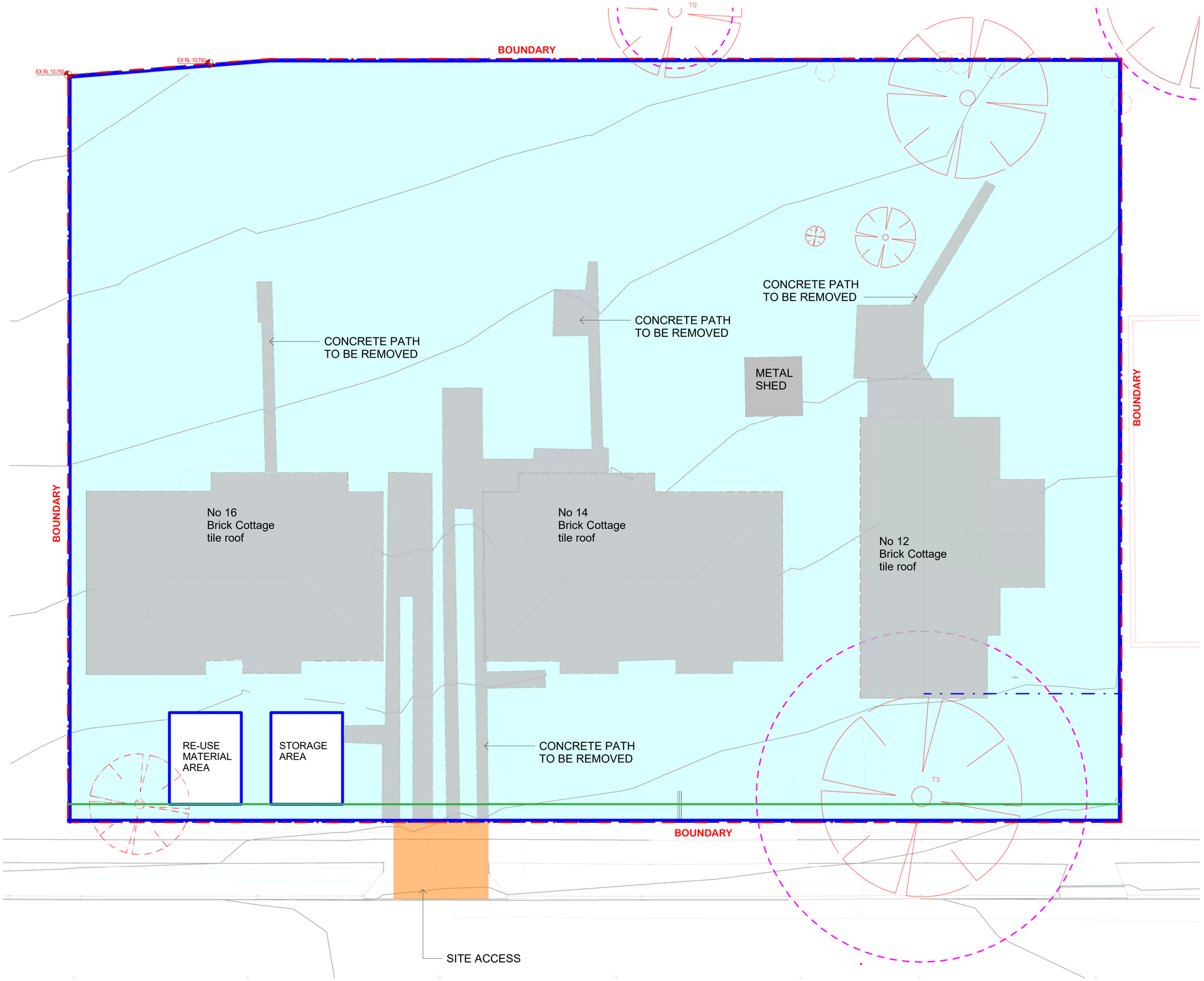
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
CUT AND FILL PLAN

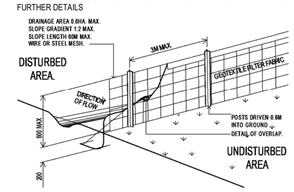
Date: **16/05/25**	Scale
Drawn: **Author**	Project No. **BGYVX**
Checked **Checker**	Revision **H**
Authorised **Approver**	Drawing No. **A102**

STAGE C

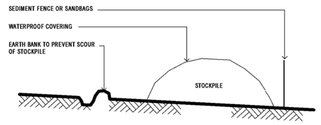


EROSION AND SEDIMENT CONTROL MEASURES

NOTE
REFER TO CIVIL ENGINEER'S ENVIRONMENTAL SITE MANAGEMENT PLAN FOR FURTHER DETAILS



SEDIMENT FENCE
N.T.S.



MATERIALS STOCKPILE
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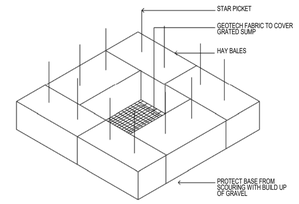
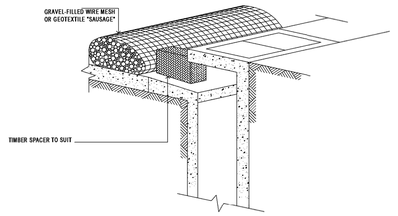
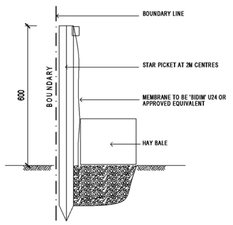


STORMWATER PIT INLET SEDIMENT TRAP
N.T.S.



PORTABLE GRAVEL KERB INLET SEDIMENT TRAP
N.T.S.



SILT FENCE DETAIL
N.T.S.

1 EROSION AND SEDIMENT CONTROL PLAN

1 : 100

Rev	Date	AMENDEMENTS	Ckd
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
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LEGEND

- TEMPORARY FENCE
- SEDIMENT CONTROL
- MAIN WORKS
- SITE ACCESS

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Accreditation No. DMN/13/1645
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NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
SEDIMENT EROSION & CONTROL PLAN

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Checked	**Checker** H
Authorised	**Approver**
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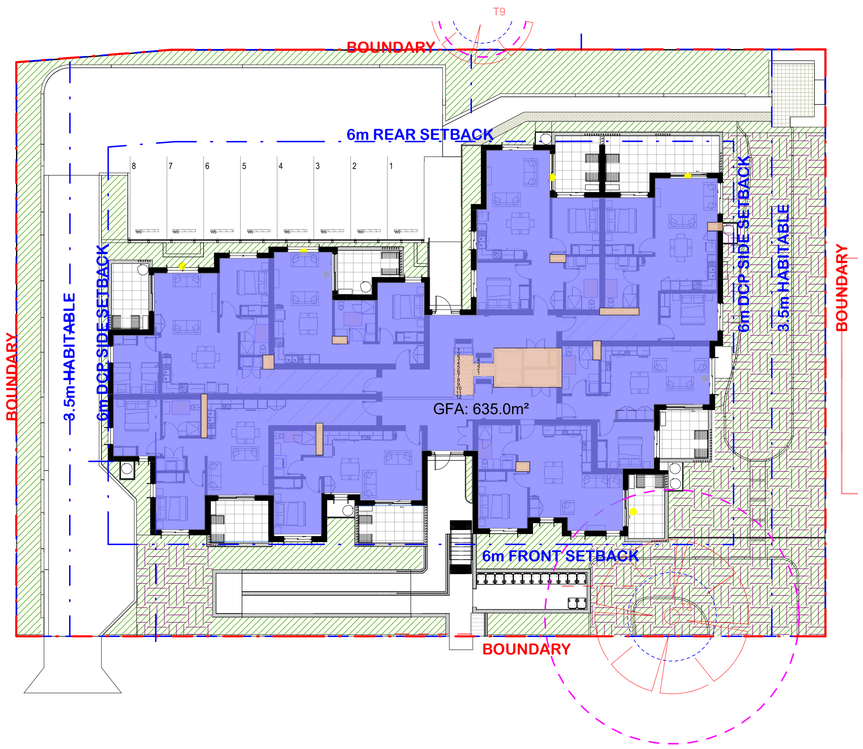
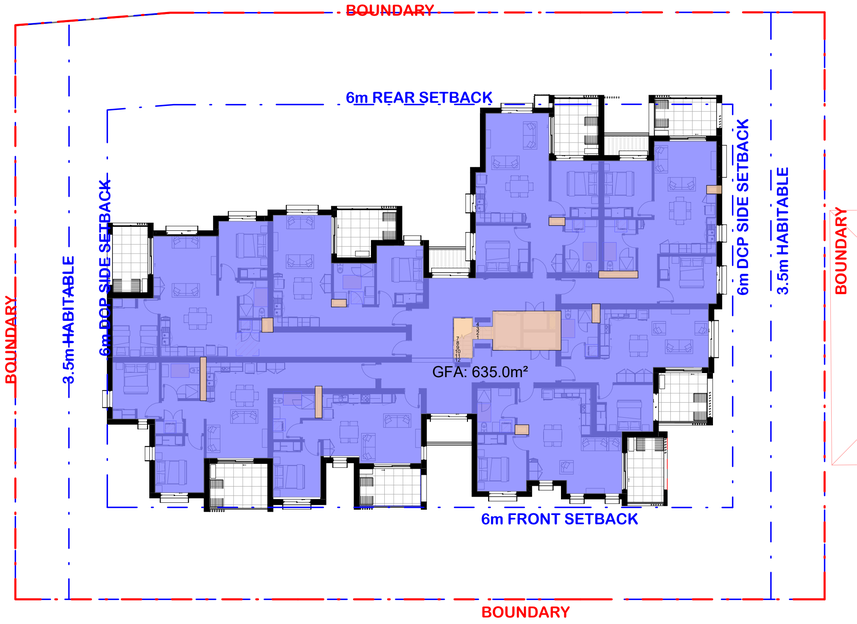
Project No.	
Revision	
Drawing No.	**A103**

STAGE C



1 GROUND FLOOR AREA
1 : 200



2 FIRST FLOOR AREA
1 : 200

INTERNAL FLOOR AREA 1270m²

AREA EXCLUDED FROM GFA 45.2m²

DEEP SOIL ZONE 319.5m² WITH MIN 3m WIDTH
16% PROPOSED > 15% HSEPP REQUIRED)

LANDSCAPE 604.4m²
(30.4% PROPOSED > 30% HSEPP REQUIRED)

TOTAL GFA: 1225m²
FSR: 0.61:1

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LEGEND

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SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
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STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
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Sheet Title
AREA CALCULATIONS

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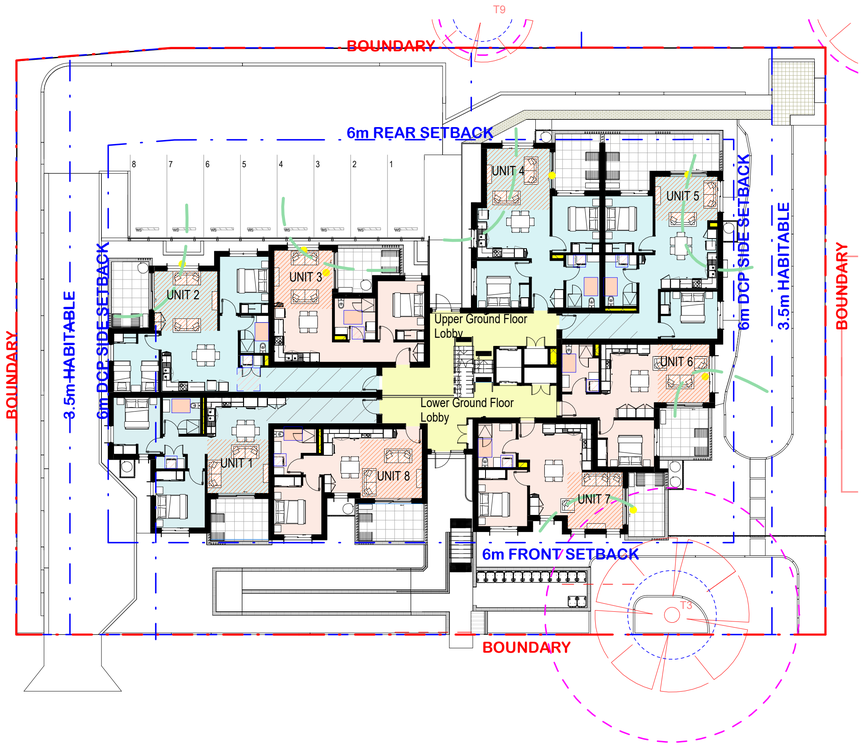
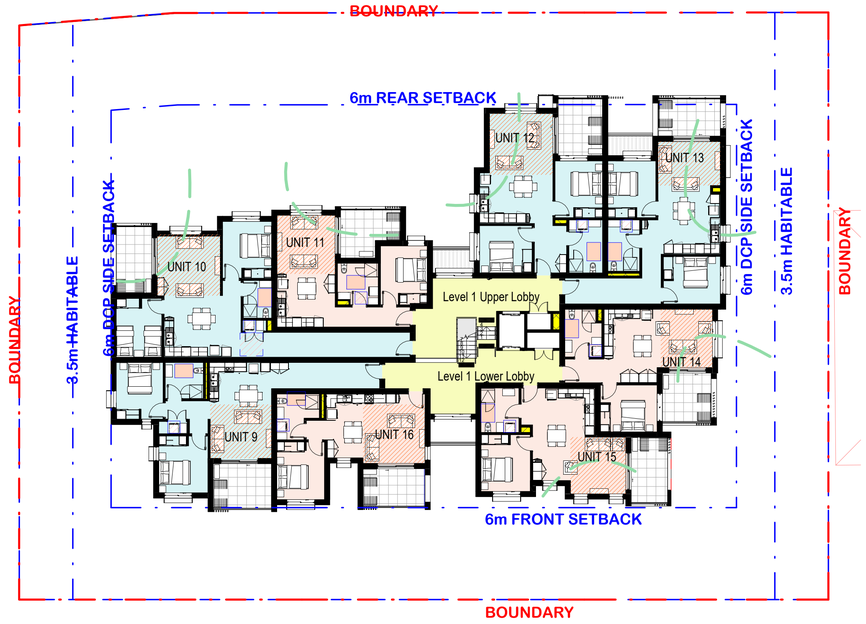
Authorised **Approver**	Drawing No. **A104**



1 NATURAL VENTILATION GROUND FLOOR PLAN

1 : 200



2 NATURAL VENTILATION FIRST FLOOR PLAN

1 : 200

LIVING ROOM WITH A MINIMUM WIDTH
1B = 3.6m
2B = 4m

UNIT/ NO.	VENTILATION COMPLIANCE
Unit 1	
Unit 2	✓
Unit 3	✓
Unit 4	✓
Unit 5	✓
Unit 6	✓
Unit 7	✓
Unit 8	
Unit 9	
Unit 10	✓
Unit 11	✓
Unit 12	✓
Unit 13	✓
Unit 14	✓
Unit 15	✓
Unit 16	

NATURAL VENTILATION REQUIREMENT

TO APARTMENG DESIGN GUIDE PART 4B:
MIN 60% UNITS ARE NATURALLY CROSS VENTILATED
SHOWN WITH GREEN DASHED LINE ON PLANS

✓ COMPLIANT

NON - COMPLIANT

75% UNITS ARE NATURALLY CROSS VENTILATED.

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SARM Architects
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p +61 2 9922 2799
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e architects@sarm.com.au
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LOTS 10 - 12 | DP 35004
Sheet Title
NATURAL VENTILATION PLANS

Date: **16/05/25**
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Drawing No. **A105**

1 SITE PLAN
1 : 100

BOUNDARY
1800H BOUNDARY FENCE
LOW RETRAINIGN WALL MAX 150mm ABOVE EXISTING GROUND
CAR PARK
6m REAR SETBACK
LOW RETAINIG WALLS ALONG DRIVEWAY. REFER TO SHEET A303 SECTION CC
RAINWATER TANK AS PER BASIX REQUIREMENTS
RWT BELOW GROUND
PLANTER, WITH RETAINING WALLS, HEIGHT LEVEL WITH CARPARK SLAB
OSD REQUIREMENTS TO CIVIL ENGINEERS DETAILS
OSD BELOW GROUND
600mm HEIGHT CAR PARK BARRIER
GRAVEL FILL
RAISED METAL PLANTER BOX
UNIT 1 75.5 m² RL 10.750
UNIT 2 83.4 m² RL 11.500
UNIT 3 56.2 m² RL 11.500
UNIT 4 70.8 m² RL 11.500
UNIT 5 77.8 m² RL 11.500
UNIT 6 54.5 m² RL 10.750
UNIT 7 56.0 m² RL 10.750
UNIT 8 50.0 m² RL 10.750
LIFT
UPPER AND LOWER GROUND FLOOR LOBBY RL 10.750
DRIVEWAY
3.5m HABITABLE
6m DCP SIDE SETBACK
LANDSCAPE
300mm KERB
EXISTING COUNCIL STW DIA 600
ACCESSIBLE PATHWAY
SOLID WALL BELOW
PAVED SURFACE FLUSH WITH ACESSIBLE PATHWAY
LANDSCAPE BATTER
ROOF/ BAL OVERHEAD
COS PAVED SPACE
LANDSCAPE BEDS WITH GARDEN SEAT
BOUNDARY FENCE AT 1800mm HEIGHT
BALCONY WALL, SOLIDER COURSE CAPPING
GARDEN EDGING
COMMUNAL OPEN SPACE
FENCE AT 1800mm HEIGHT
FENCE AT 1200mm HEIGHT
FENCE GATE
6m FRONT SETBACK
SUBFLOOR ACCESS
OPEN BIN AREA, MASONRY WALL AT 1600mm HEIGHT FOR VISUAL PRIVACY
BULKY WASTE
GARDEN EDGE
LETTER BOX
WALKWAY
BALUSTRADE
450mm HIGH PERFORATED BRICK WALL
PEDESTRIAN SAFETY SIGHT LINE REGION TO COMPLY WITH AS2890.1 PART 3.2.4(b). FENCE WITHIN SIGHTLINE TO COMPLY WITH HEIGHT LIMIT
SIGHT DISTRANCE REQUIREMENTS TO COMPLY WITH AS2890.1 PART 3.2.4(a)
EXISTING PATH WAY
BINS COLLECTION POINT
DRIVEWAY CROSSOVER TO COUNCIL SPECIFICATIONS
APPROX EXISTING COUNCIL STORMWATER V KERB INLET
DEMOLISHED DRIVEWAY TO BE CONVERSTED TO GRASS AND KERB TO MATCH ADJACENT
EXISTING COUNCIL STW DIA 600
PROPOSED 8.5m PIPE EXTENSION BENEATH STUART RD DIA 375mm PIPE SIZE -OPTION 3
CONNECT TO KERB AND MAKE GOOD IL +8.61 -OPTION 2
COLD WATER MASTER 1200X400X500H
T7 to be removed and replaced with local native species
NO.18 STUART RD
NO.10 STUART RD
STUART RD

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND
BOUNDARY
SETBACK
TPZ
SRZ
DEMOLISHED
RETAINED
NATURAL GROUND LINE
SERVICES - STORMWATER
SERVICES - SEWER
SERVICES - ELECTRICAL
SERVICES - TELECOM
SERVICES - NBN
SERVICES - GAS
DRINAGE
STORMWATER PITS/ STRIP DRAINS
EXISTING HYDRANT
SEWER MANHOLE
SEWER INSPECTION POINT
TELSTRA PIT
GARDEN TAP
POWER POLE
EXISTING TREES
PROPOSED TREES
MASS PLANTING BED
TURF - SOFT LEAF BUFFALO
HEDGING
BIN STORAGE
INSTANTANEOUS ELECTRIC HOT WATER UNIT TO FIRST FLOOR ONLY
HWU
AC A/C UNIT
CL A/C UNIT
FEN-1 FENCE - COS/ HWU's
FEN-2 BOUNDARY FENCE
FW FLOOR WASTE
HWU HOT WATER UNIT
WM WAER METER
SP SOLAR PANELS
SS SUN SHROUD

Certificate No. 0011746560
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 12-16 Stuart Street,Warrawong NSW,2502
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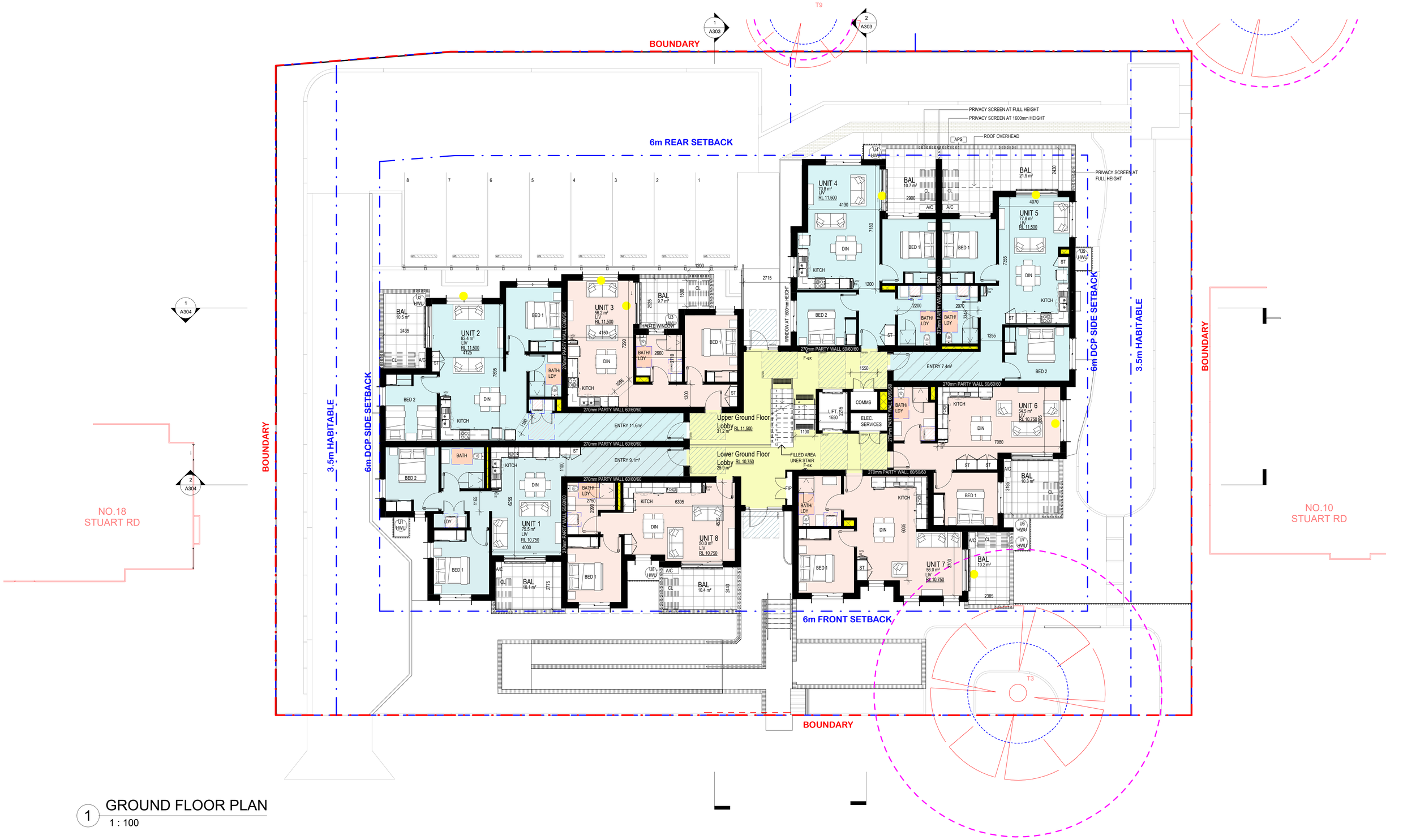
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom reg. no. 7645
Robert McNamara reg. no. 7271

STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
SITE PLAN

Date:	Scale
16/05/25	
Drawn:	Project No.
Author	BGYVX
Checked	Revision
Checker	H
Authorised	Drawing No.
Approver	A200



1 GROUND FLOOR PLAN
1 : 100

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- BOUNDARY
- SETBACK
- TPZ
- SRZ
- DEMOLISHED
- EXISTING/ RETAINED
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SOLAR AMENITY >2hrs (9am - 3pm, 21th Jun)
- LB LETTERBOXES
- OVERHEAD
- HWU INSTANTANEOUS ELECTRIC HOT WATER UNIT

AC	A/C UNIT
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
FW	FLOOR WASTE
WM	WAER METER
SP	SOLAR PANELS
SS	SUN SHROUD
ST	STORAGE

Certificate No. 0011746560
Scan QR code or follow website link for rating details.
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Property Address 12-16 Stuart Street,Warrawong NSW,2502
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NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
GROUND FLOOR PLAN

Date:	Scale
16/05/25	
Drawn:	Project No.
Author	**BGYVX**
Checked	Revision
Checker	**H**
Authorised	Drawing No.
Approver	**A201**

1 FIRST FLOOR PLAN
1 : 100

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- BOUNDARY
- SETBACK
- TPZ
- SRZ
- DEMOLISHED
- EXISTING/ RETAINED

1 BEDROOM UNIT
2 BEDROOM UNIT
SOLAR AMENITY >2hrs (9am - 3pm, 21th Jun)
LB LETTERBOXES
OVERHEAD
HWU INSTANTANEOUS ELECTRIC HOT WATER UNIT

AC	A/C UNIT
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
FW	FLOOR WASTE
WM	WAER METER
SP	SOLAR PANELS
SS	SUN SHROUD
ST	STORAGE

Certificate No. 0011746560
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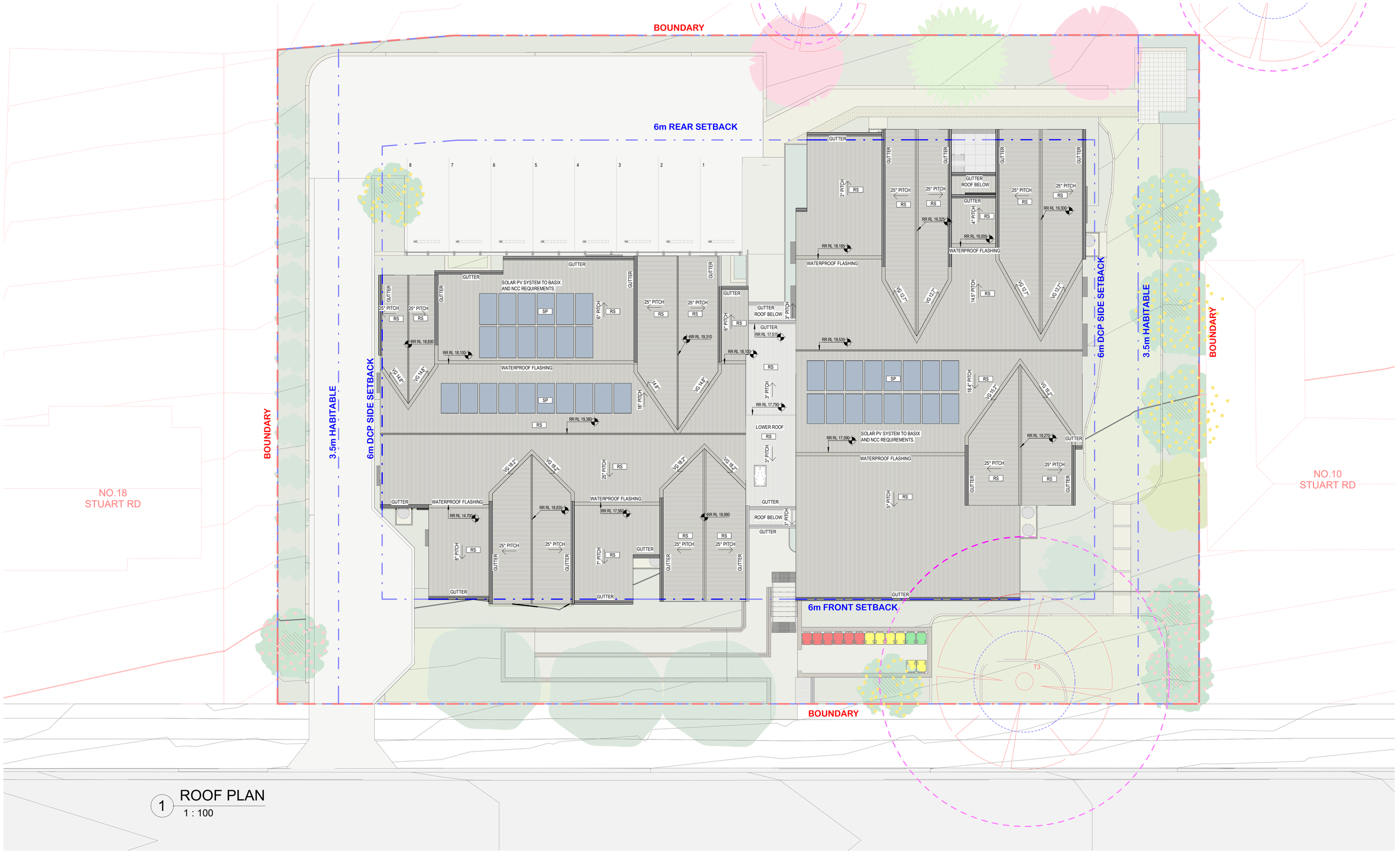
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
FIRST FLOOR PLAN

Date:	Scale
16/05/25	
Drawn:	Project No.
Author	**BGYVX**
Checked	Revision
Checker	**H**
Authorised	Drawing No.
Approver	**A202**



1 ROOF PLAN
1 : 100

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- BOUNDARY
- SETBACK
- TPZ
- SRZ
- DEMOLISHED
- EXISTING/ RETAINED
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- SOLAR AMENITY >2hrs (9am - 3pm, 21th Jun)
- LB LETTERBOXES
- OVERHEAD
- HWU INSTANTANEOUS ELECTRIC HOT WATER UNIT

AC	A/C UNIT
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
FW	FLOOR WASTE
WM	WAER METER
SP	SOLAR PANELS
SS	SUN SHROUD
ST	STORAGE

Certificate No. 0011746560
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Assessor name Dean Gorman
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Property Address 12-16 Stuart Street,Warrawong NSW,2502
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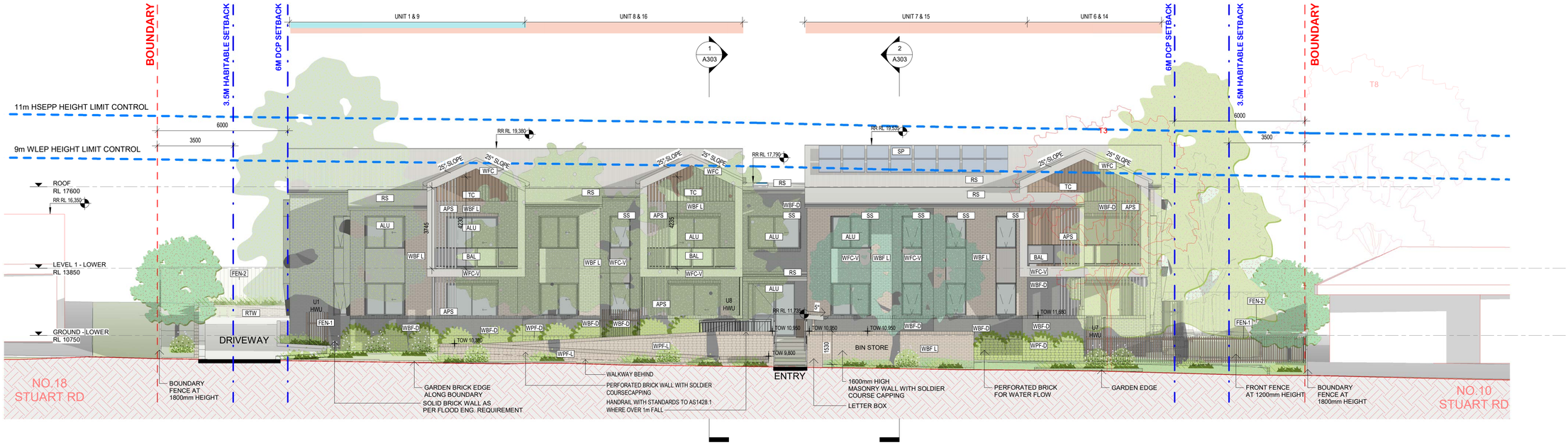
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

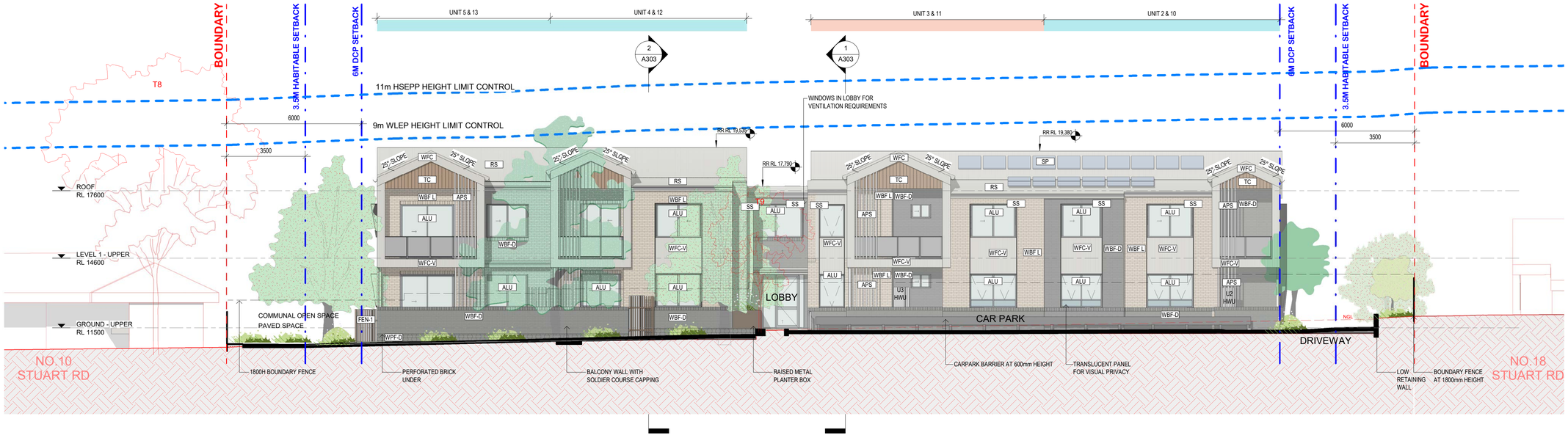
Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
ROOF PLAN

Date: **16/05/25**	Scale
Drawn: **Author**	Project No. **BGYVX**
Checked **Checker**	Revision **H**
Authorised **Approver**	Drawing No. **A203**



1 EASTERN ELEVATION STUART RD

1 : 100



2 WESTERN ELEVATION

1 : 100

Rev	Date	AMENDEMENTS	Ckd
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

BOUNDARY
SETBACK
NGL NATURAL GROUND LINE
HEIGHT LIMIT CONTROL

AC	A/C UNIT
ALU	ALUMINIUM WINDOW FRAME
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
HWU	HOT WATER UNIT
SP	SOLAR PANELS
SS	SUN SHROUD
TC	ALUMINIUM CLADDING
WM	WATER METER
WPF	PERFORATED BRICK WALL

PROPOSED NEW TREES ARE SHOWN AT THEIR MINIMUM MATURE HEIGHT.
REFER TO LANDSCAPE PLANT LIST SCHEDULE.

Certificate No. 0011746560
Scan QR code or follow website link for rating details.
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Accreditation No. DMN/13/1645
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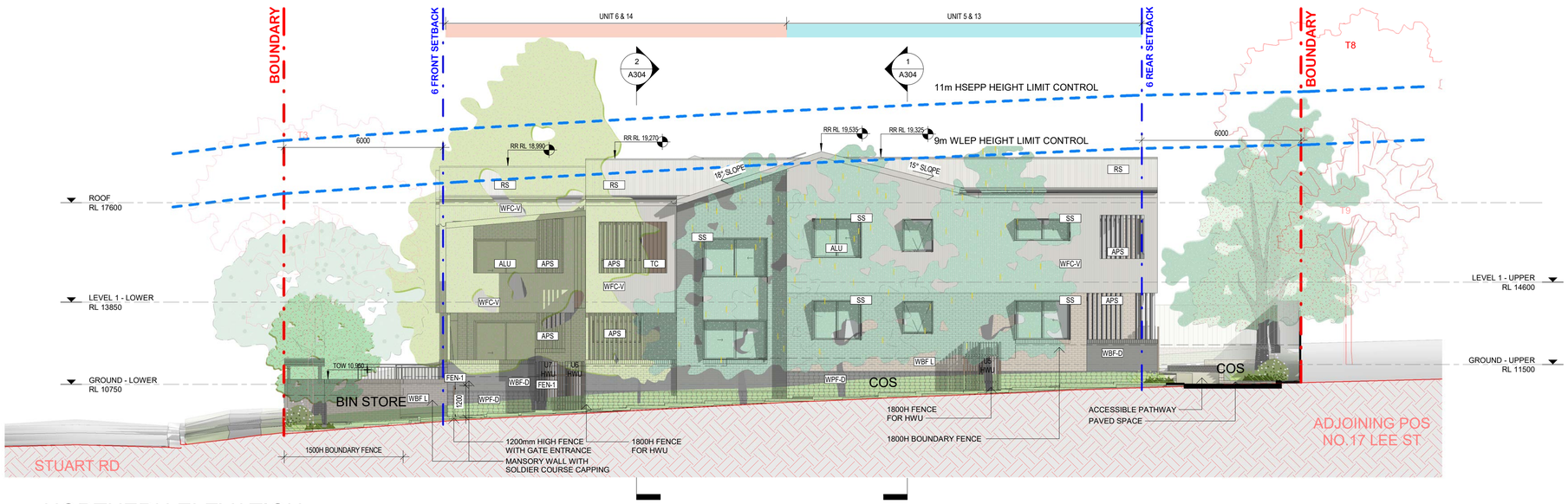
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Ariotti
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

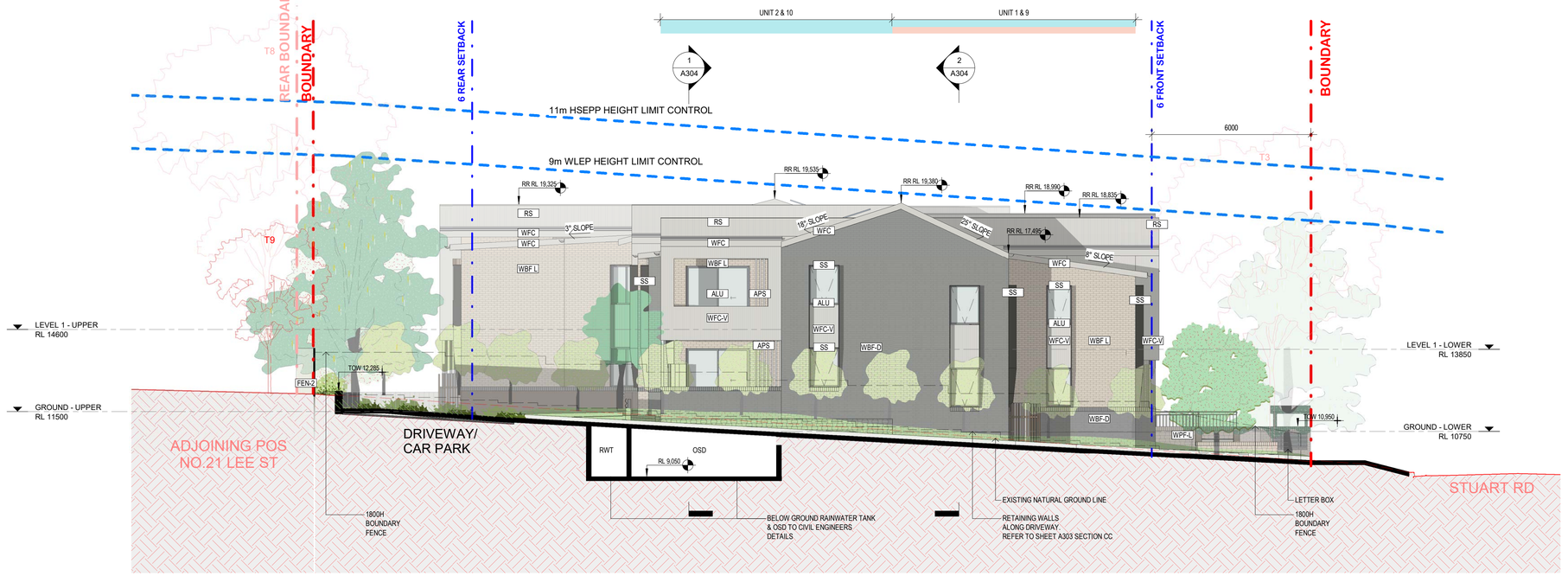
Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
ELEVATIONS EAST & WEST

Date:	Scale
16/05/25	
Drawn:	Project No.
Author	**BGYVX**
Checked	Revision
Checker	**H**
Authorised	Drawing No.
Approver	**A300**



1 NORTHERN ELEVATION

1 : 100



2 SOUTHERN ELEVATION

1 : 100

Rev	Date	AMENDEMENTS	Ckd
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

BOUNDARY
SETBACK
NGL NATURAL GROUND LINE
HEIGHT LIMIT CONTROL

AC	A/C UNIT
ALU	ALUMINIUM WINDOW FRAME
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
HWU	HOT WATER UNIT
SP	SOLAR PANELS
SS	SUN SHROUD
TC	ALUMINIUM CLADDING
WM	WATER METER
WPF	PERFORATED BRICK WALL

PROPOSED NEW TREES ARE SHOWN AT THEIR MINIMUM MATURE HEIGHT.
REFER TO LANDSCAPE PLANT LIST SCHEDULE.

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NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

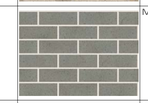
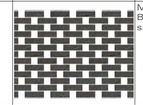
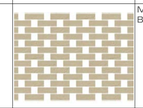
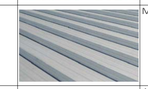
Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
ELEVATIONS NORTH & SOUTH

Date: **16/05/25**	Scale
Drawn: **Author**	Project No. **BGYVX**
Checked **Checker**	Revision **H**
Authorised **Approver**	Drawing No. **A301**

1 ELEVATION - STUART ST

1 : 100

Material Exterior Schedule

CODE	Material: Image	Material: Description	COLOUR
FEN-1		Aluminium Batten Fences Height: 1200mm/ Front Fencing. 1800mm/ HWU	Brown
FEN-2		Boundary Fence - 1.8m Colorbond Fence	Light Beige
APS		Aluminium Battens metallic-look powdercoat finishes	White
WFC		Boarded Finish Colour to match WFC-V	Shale Grey
WFC-V		Vertical Boarded Finish	Shale Grey
RTW		Retaining Wall Block	Light Blode
TC		Aluminium Vertical Slat Panels Balcony internal wall and ceiling	Brown
WBF L		Masonry	Blonde
WBF-D		Masonry	Dark Grey
WPF-D		Masonry Hit and Miss Brickwork for flood overflow' to subfloor areas	Dark Grey To match WBF-D
WPF-L		Masonry Hit and Miss Brickwork	Blonde
RS		Metal Sheet Roofing	Light Grey
ALU		Aluminium window and door frame system	Grey
SS		Caprice Series with Mirage Series for Horizontal louvred portion. Vertical members: Caprice 334 Panel Horizontal members: Mirage MSG-605-30	Aluminium Sun Shade
BAL		Charcoal frame w/ translucent glazing with tint to match frame.	Charcoal

Rev	Date	AMENDEMENTS	Ckd
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

Certificate No. 0011746560

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

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NSW GOVERNMENT

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

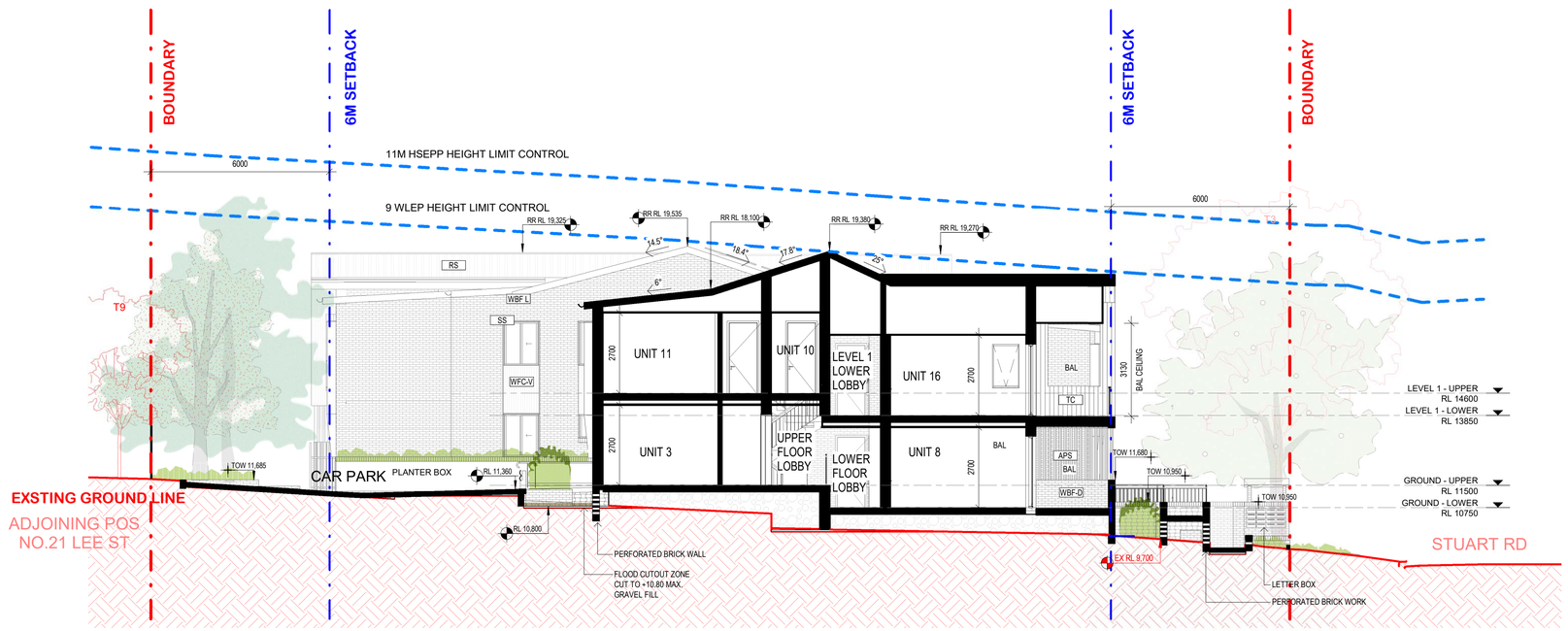
Project Name
GENERAL HOUSING UNITS WARRAWONG

12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004

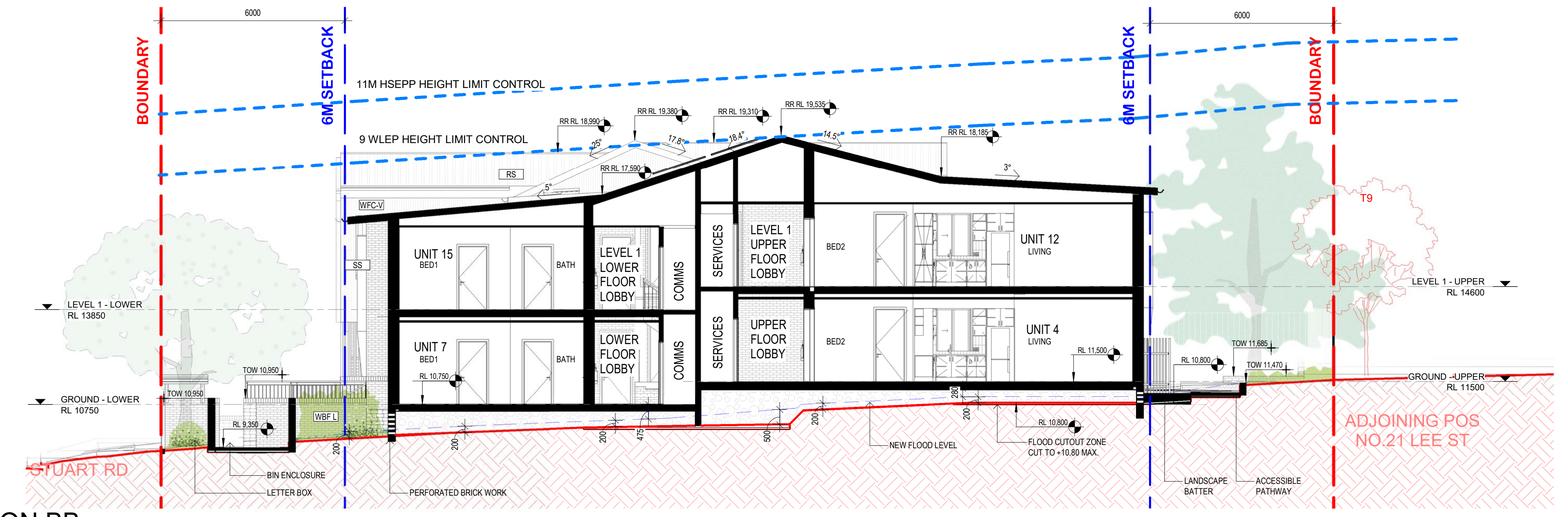
Sheet Title
MATERIAL & FINISH SCHEDULE

Date: **16/05/25**
Drawn: **Author**
Checked **Checker**
Authorised **Approver**

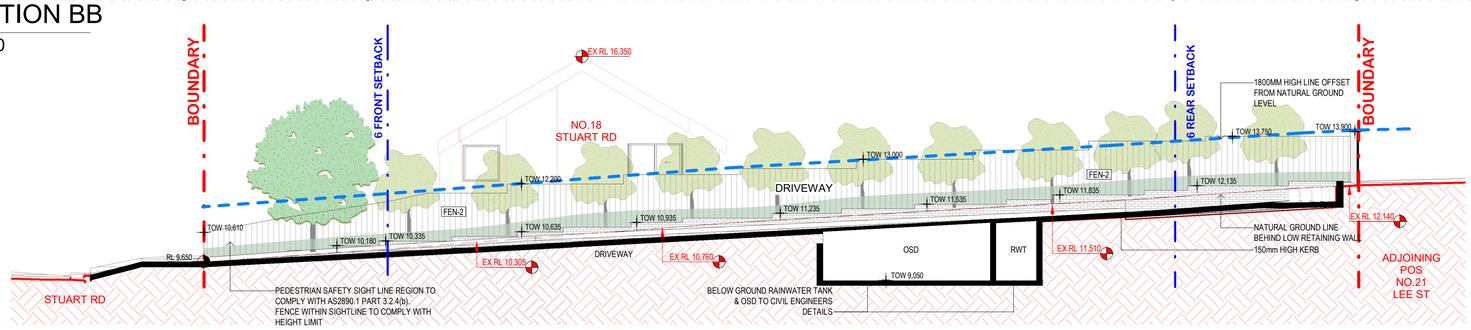
Scale
Project No. **BGYVX**
Revision **H**
Drawing No. **A302**



1 SECTION AA
1 : 100



2 SECTION BB
1 : 100



3 SECTION CC
1 : 100

Rev	Date	AMENDEMENTS	Ckd
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- BOUNDARY
- SETBACK
- NGL NATURAL GROUND LINE
- HEIGHT LIMIT CONTROL

AC	A/C UNIT
ALU	ALUMINIUM WINDOW FRAME
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
HWU	HOT WATER UNIT
SP	SOLAR PANELS
SS	SUN SHROUD
TC	ALUMINIUM CLADDING
WM	WATER METER
WPF	PERFORATED BRICK WALL

PROPOSED NEW TREES ARE SHOWN AT THEIR MINIMUM MATURE HEIGHT. REFER TO LANDSCAPE PLANT LIST SCHEDULE.

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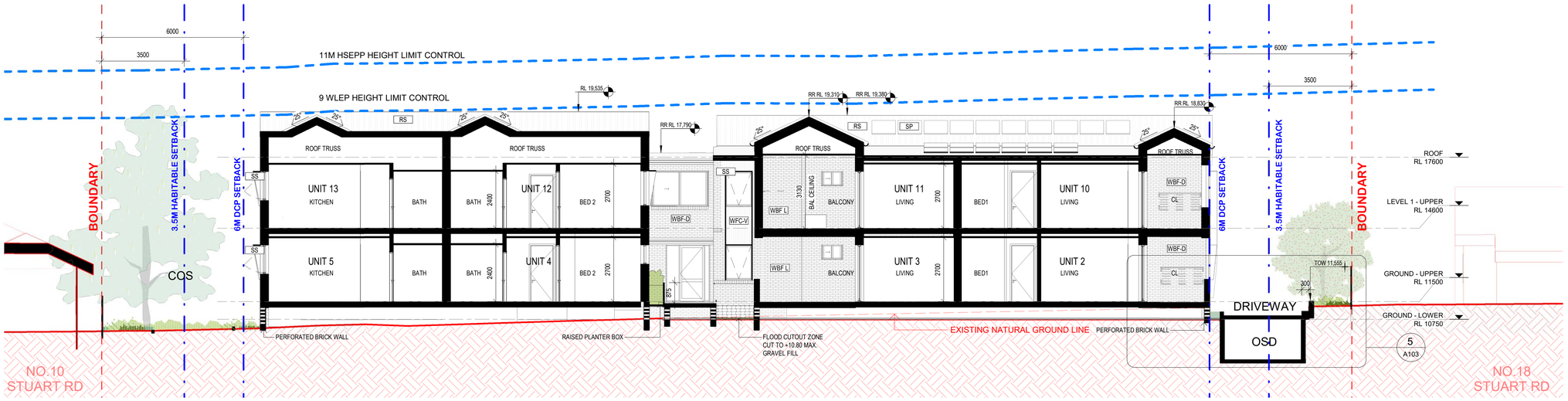
SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom reg. no. 7645
Robert McNamara reg. no. 7271

STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004

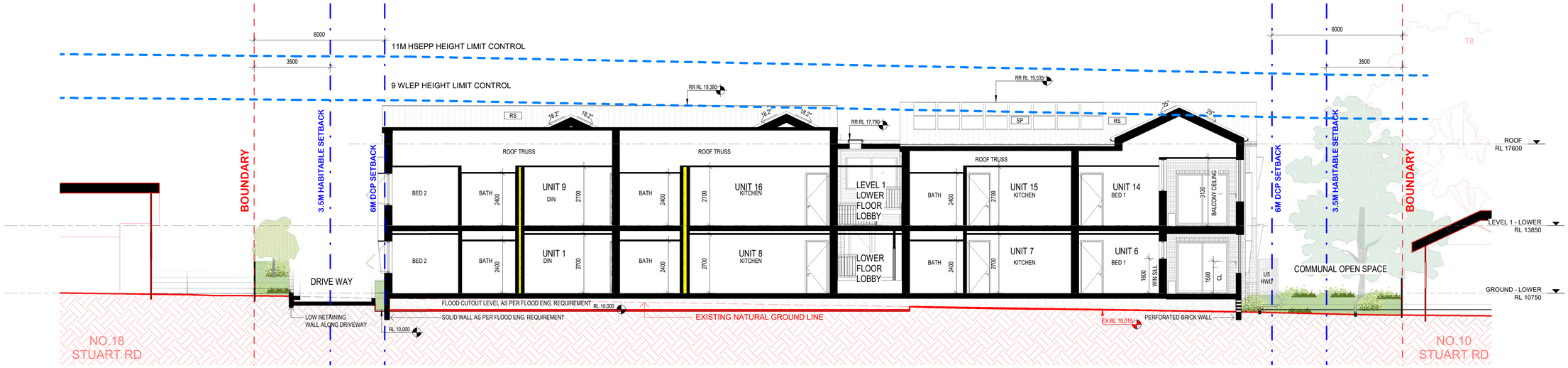
Sheet Title
SECTIONS - SHEET 1

Date:	Scale
16/05/25	
Drawn:	Project No.
Author	**BGYVX**
Checked	Revision
Checker	**H**
Authorised	Drawing No.
Approver	**A303**



1 SECTION 01

1 : 100



2 SECTION 02

1 : 100

Rev	Date	AMENDEMENTS	Ckd
B	06/08/24	TO CONSULTANT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

- BOUNDARY
- SETBACK
- NGL NATURAL GROUND LINE
- HEIGHT LIMIT CONTROL

AC	A/C UNIT
ALU	ALUMINIUM WINDOW FRAME
CL	A/C UNIT
FEN-1	FENCE - COS/ HWU's
FEN-2	BOUNDARY FENCE
HWU	HOT WATER UNIT
SP	SOLAR PANELS
SS	SUN SHROUD
TC	ALUMINIUM CLADDING
WM	WATER METER
WPF	PERFORATED BRICK WALL

PROPOSED NEW TREES ARE SHOWN AT THEIR MINIMUM MATURE HEIGHT.
REFER TO LANDSCAPE PLANT LIST SCHEDULE.

Certificate No. 0011746560

Scan QR code or follow website link for rating details.

Assessor name Dean Gorman

Accreditation No. DMN/13/1645

Property Address 12-16 Stuart Street,Warrawong NSW,2502

hstar.com.au/QR/Generate?p=b9CqCenpQ

NSW GOVERNMENT

SARM Architects

Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623

nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

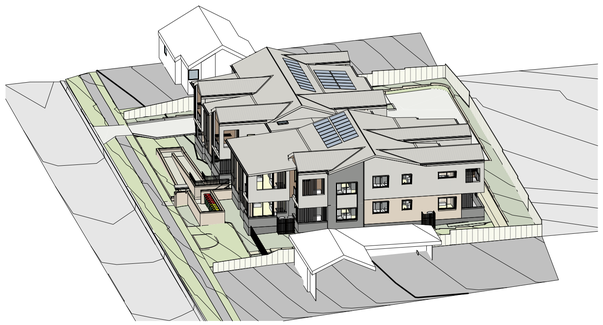
STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG

12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004

Sheet Title
SECTIONS - SHEET 2

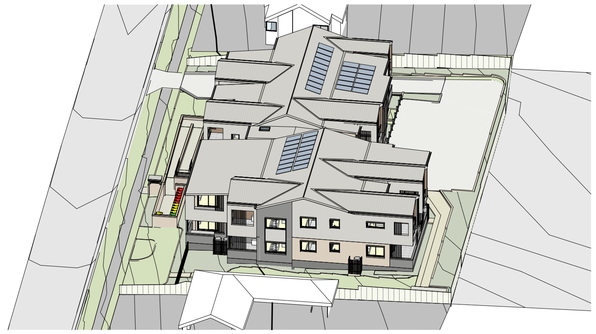
Date:	Scale
16/05/25	
Drawn:	Project No.
Author	**BGYVX**
Checked	Revision
Checker	**H**
Authorised	Drawing No.
Approver	**A304**



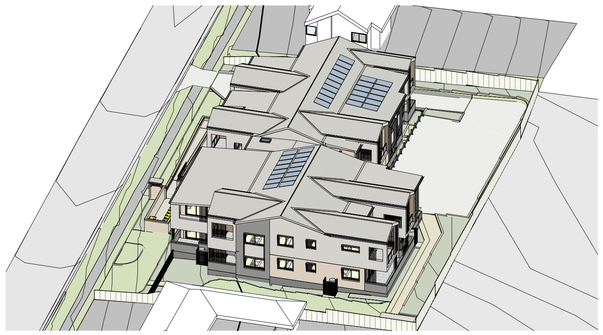
1 VIEW FROM SUN STUDY - JUNE 9am

2 VIEW FROM SUN STUDY - JUNE 930am

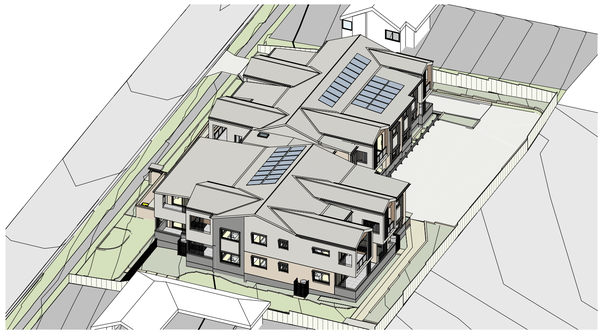
3 VIEW FROM SUN STUDY - JUNE 10am



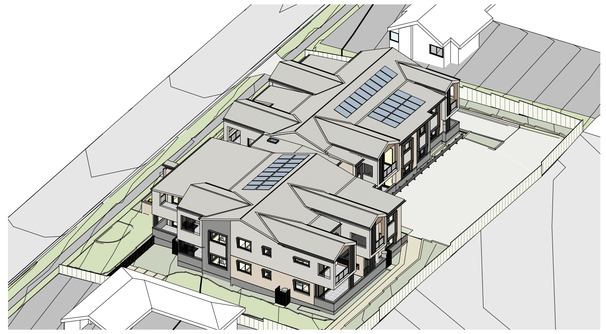
4 VIEW FROM SUN STUDY - JUNE 1030am



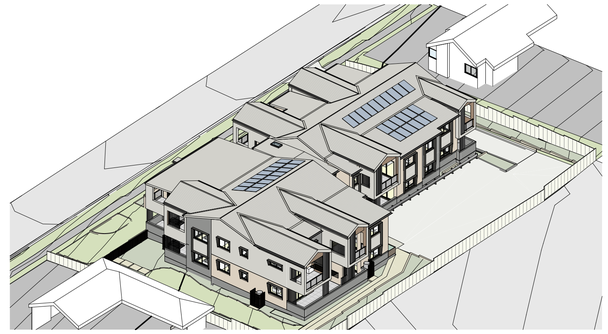
5 VIEW FROM SUN STUDY - JUNE 11am



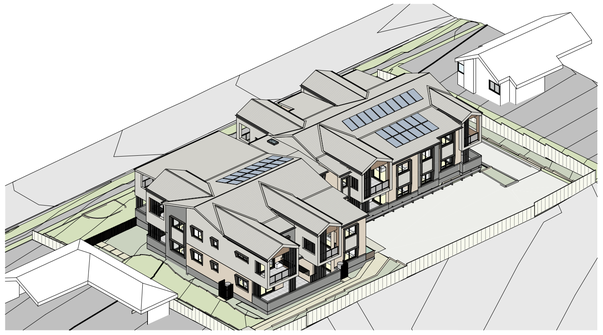
6 VIEW FROM SUN STUDY - JUNE 1130am



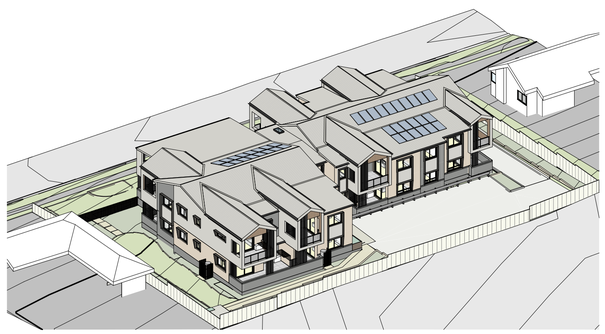
7 VIEW FROM SUN STUDY - JUNE 12pm



8 VIEW FROM SUN STUDY - JUNE 1230pm

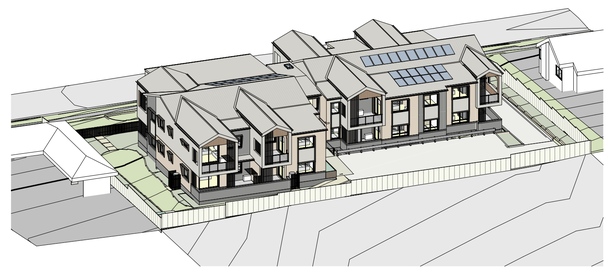


9 VIEW FROM SUN STUDY - JUNE 1pm

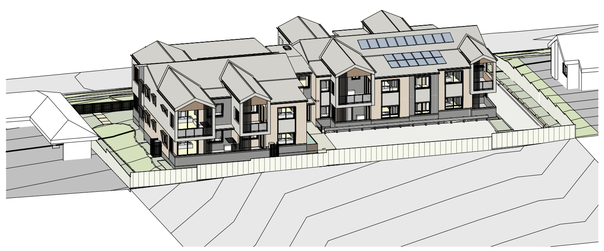


10 VIEW FROM SUN STUDY - JUNE 130pm

11 VIEW FROM SUN STUDY - JUNE 2pm



12 VIEW FROM SUN STUDY - JUNE 230pm



13 VIEW FROM SUN STUDY - JUNE 3pm

	9am	9:30am	10am	10:30am	11am	11:30am	12pm	12:30pm	1pm	1:30pm	2pm	2:30pm	3pm
Unit 1													
Unit 2					✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 3								✓	✓	✓	✓	✓	✓
Unit 4								✓	✓	✓	✓	✓	✓
Unit 5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 7	✓	✓	✓	✓	✓	✓							
Unit 8													
Unit 9													
Unit 10					✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 11								✓	✓	✓	✓	✓	✓
Unit 12								✓	✓	✓	✓	✓	✓
Unit 13	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 14	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Unit 15	✓	✓	✓	✓	✓	✓	✓						
Unit 16													

Sunlight Access to Living rooms/ POSs
in accordance with LAHC Deemed to Satisfy Compliance Part B4.2a

✓ COMPLIANT

NON - COMPLIANT

75% RECEIVE 3 HOURS

75% TO POSs

Rev	Date	AMENDEMENTS	Ckd
A	05/07/24	PRELIM STAGE B DRAFT	SA
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

Certificate No. 0011746560
BASIX Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 12-16 Stuart Street,Warrawong NSW,2502
hstar.com.au/QR/Generate?p=tdCqCsrpvQ

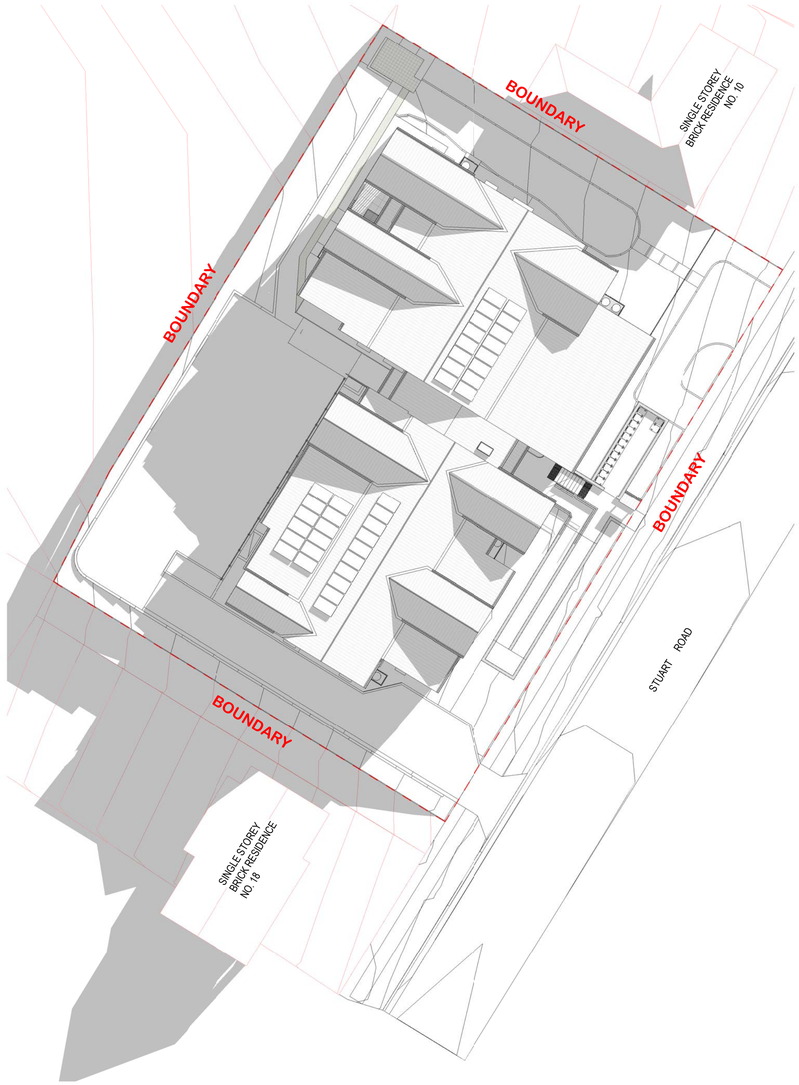
NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Ariotti
reg. no. 7645
Robert McNamara
reg. no. 7271

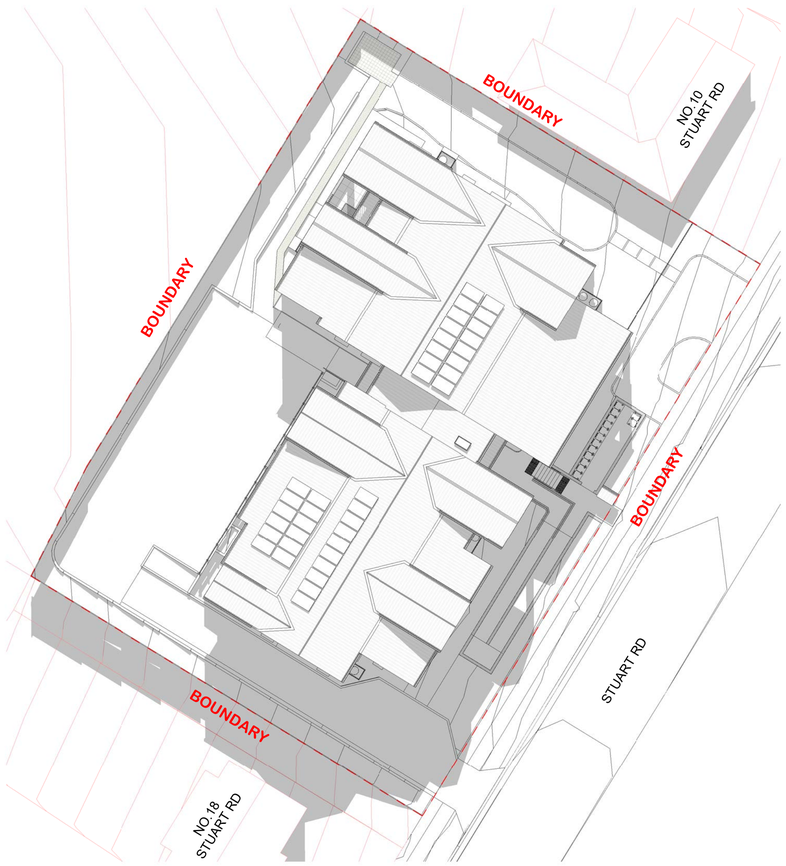
STAGE C

Project Name
GENERAL HOUSING UNITS
WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
VIEW FROM SUN STUDY

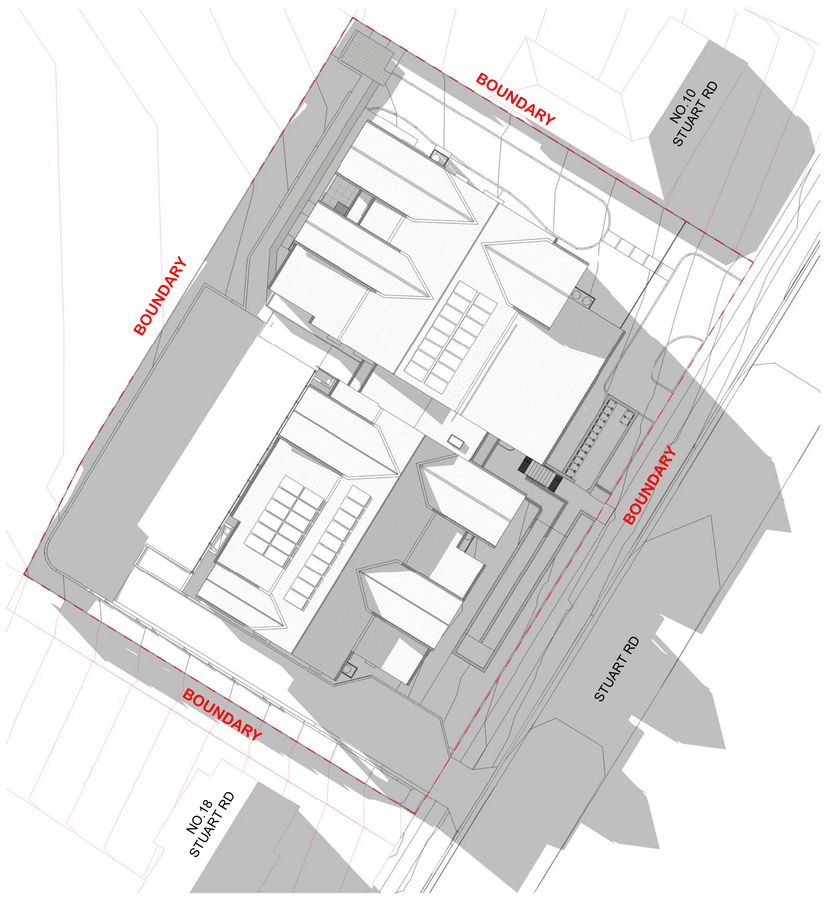
Date: **16/05/25**
Scale
Drawn: **Author**
Project No. **BGYVX**
Checked **Checker**
Revision **H**
Authorised **Approver**
Drawing No. **A401**



1 21st June 9am
1 : 250



2 21st June 12pm
1 : 250



3 21st June 3pm
1 : 250

4 NO.18 SHADOW_21 June 9am

5 NO.18 SHADOW_21 June 12pm

Rev	Date	AMENDEMENTS	Ckd
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

Certificate No. 0011746560
Scan QR code or follow website link for rating details.
Assessor name Dean Gorman
Accreditation No. DMN/13/1645
Property Address 12-16 Stuart Street,Warrawong NSW,2502
hstar.com.au/QR/Generate?p=tdCqCsnpQ

NSW GOVERNMENT

N

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
ABN 26 000 663 623
nominated architects:
Stephen Arlom
reg. no. 7645
Robert McNamara
reg. no. 7271

STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
SHADOW DIAGRAMS

Date: **16/05/25**
Scale
Drawn: **Author**
Project No. **BGYVX**
Checked **Checker**
Revision **H**
Authorised **Approver**
Drawing No. **A402**

1 Sketch Perspective - Front

2 Sketch Perspective - Rear

Rev	Date	AMENDEMENTS	Ckd
C	23/08/24	STAGE B	SA
D	16/10/24	STAGE C PRELIM	SA
E	18/11/24	STAGE C	SA
G	10/01/25	STAGE C	SA
H	16/05/25	STAGE C	SA

LEGEND

NSW GOVERNMENT

SARM Architects
Suite 4, 7 Ridge Street
North Sydney NSW 2060
p +61 2 9922 2799
f +61 2 9922 2755
e architects@sarm.com.au
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nominated architects:
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STAGE C

Project Name
GENERAL HOUSING UNITS WARRAWONG
12 - 16 STUART ROAD, WARRAWONG
LOTS 10 - 12 | DP 35004
Sheet Title
AERIAL PERSPECTIVES

Date: **16/05/25**	Scale
Drawn: **Author**	Project No. **BGYVX**
Checked **Checker**	Revision **H**
Authorised **Approver**	Drawing No. **A500**